

Resource Consent+

**Larsen & Torino PN91+**  
14-16 Larsen Road, Panmure, Auckland+

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Proposal For  
Larsen & Torino PN91

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Prepared by  
Young+Richards+

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Project Number  
240233

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Project Status  
Resource Consent

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Document Revision  
E

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Issued Date  
17 September 2025





A2-00-0001 - DRAWING INDEX				
Sheet Number	Sheet Name	Current Revision	Current Revision Date	Current Revision Description
A2-00-0001	DRAWING INDEX	F	09/12/2025	DUTY COMMISSIONER CHANGES
A2-00-0005	VICINITY & LOCATION & PROJECT INFORMATION	B	01/05/2025	RESOURCE CONSENT
A2-00-2001	EXISTING SITE PLAN	B	01/05/2025	RESOURCE CONSENT
A2-00-2200	SITE PLAN - GROUND FLOOR	C	DD/07/2025	RESPONSE TO S92 REQUEST
A2-00-2500	SITE DEVELOPMENT CONTROLS PLAN - EXISTING SITE AREA	C	DD/07/2025	RESPONSE TO S92 REQUEST
A2-00-2501	SITE DEVELOPMENT CONTROLS PLAN - NEW SITE AREA	E	17/09/2025	MINOR UPDATE
A2-00-2600	HIRB PLAN	F	09/12/2025	DUTY COMMISSIONER CHANGES
A2-00-2601	HIRB DIAGRAMS	F	09/12/2025	DUTY COMMISSIONER CHANGES
A2-00-2602	HIRB ELEVATIONS	F	09/12/2025	DUTY COMMISSIONER CHANGES
A2-00-2603	HIRB ELEVATIONS	D	28/08/2025	HIRB MINOR UPDATE
A2-00-2610	HIRB 3D DIAGRAMS - EXISTING SITE AREA	D	28/08/2025	HIRB MINOR UPDATE
A2-00-2611	HIRB 3D DIAGRAMS - NEW SITE AREA	F	09/12/2025	DUTY COMMISSIONER CHANGES
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Grand total: 21

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PROJECT ADDRESS  
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1072 AUCKLAND**

PROJECT NUMBER  
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PROJECT STATUS  
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SHEET SCALE **NONE** SHEET SIZE **A3=100%** PRINT IN COLOUR

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**A2-00-0001** REVISION **F**



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Urban Design Report

Community Overview

The surrounding neighbourhood is primarily residential with amenities that support suburban living. These amenities include local schools, local shops, a coastal walkway / reserve, and the nearby Johnson Reserve. The existing built environment is generally a mixture of single storey standalone homes intensified with a number of 2 & 3-level terrace housing and feature other TRC small sites which look to develop the greater community.

The Sites and Proposed Development

PN91 looks to intensify the urban fabric of the neighbourhood and propose a series of terrace units on the site. The design incorporates brick and vertical cladding to complement the existing built environment and use a series of monopitch and gable roof forms to break the terrace units into smaller volumes.

As part of PN91 development, a land-swap with Auckland Council Parks is proposed which vests a portion of the site to Johnson Reserve. This vesting of land is part of TRC's masterplan in the region to open up the existing green spaces and providing pedestrian links and safer green spaces. The proposed 3-level development occurs in a MHS area however the intention is to provide surveillance, outlook and visual connection with Johnson Reserve.





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Urban Design Report  
Context & Character



14 Larsen Road from Johnson Reserve



14 Larsen Road looking South-East



Sample of existing fabric

The existing neighborhood features a mix of suburban housing, urban infill, and abundant green spaces, including parks and reserves.

A predominant use of warm-toned brick cladding characterises the built environment, harmonising with the natural greens and earthy browns of the surrounding landscape.

The proposed color scheme is designed to complement this context, drawing inspiration from the warm hues of the existing brickwork and the natural tones found in Johnson Reserve's vegetation and planting.

This approach ensures visual cohesion while enhancing the relationship between the built and natural environments.



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Materials and Finishes



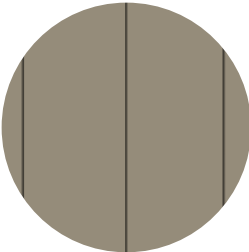
Light Brick



Dark Brick



Colorsteel Roofing



Light Vertical Board Cladding



Aluminium Louver Veranda



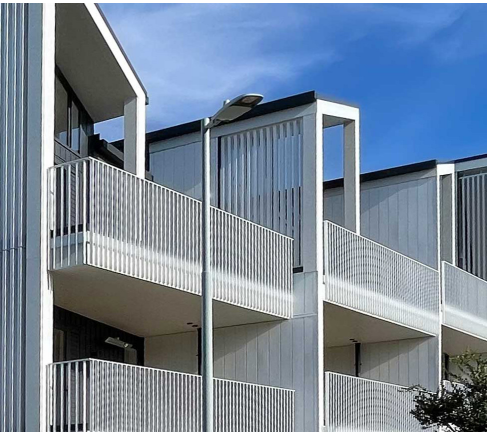
Aluminium Window Shrouds



Aluminium Canopies



Aluminium Balustrades



Reference Images, source: ArchDaily

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Site Introduction

Unitary Plan - Zoning

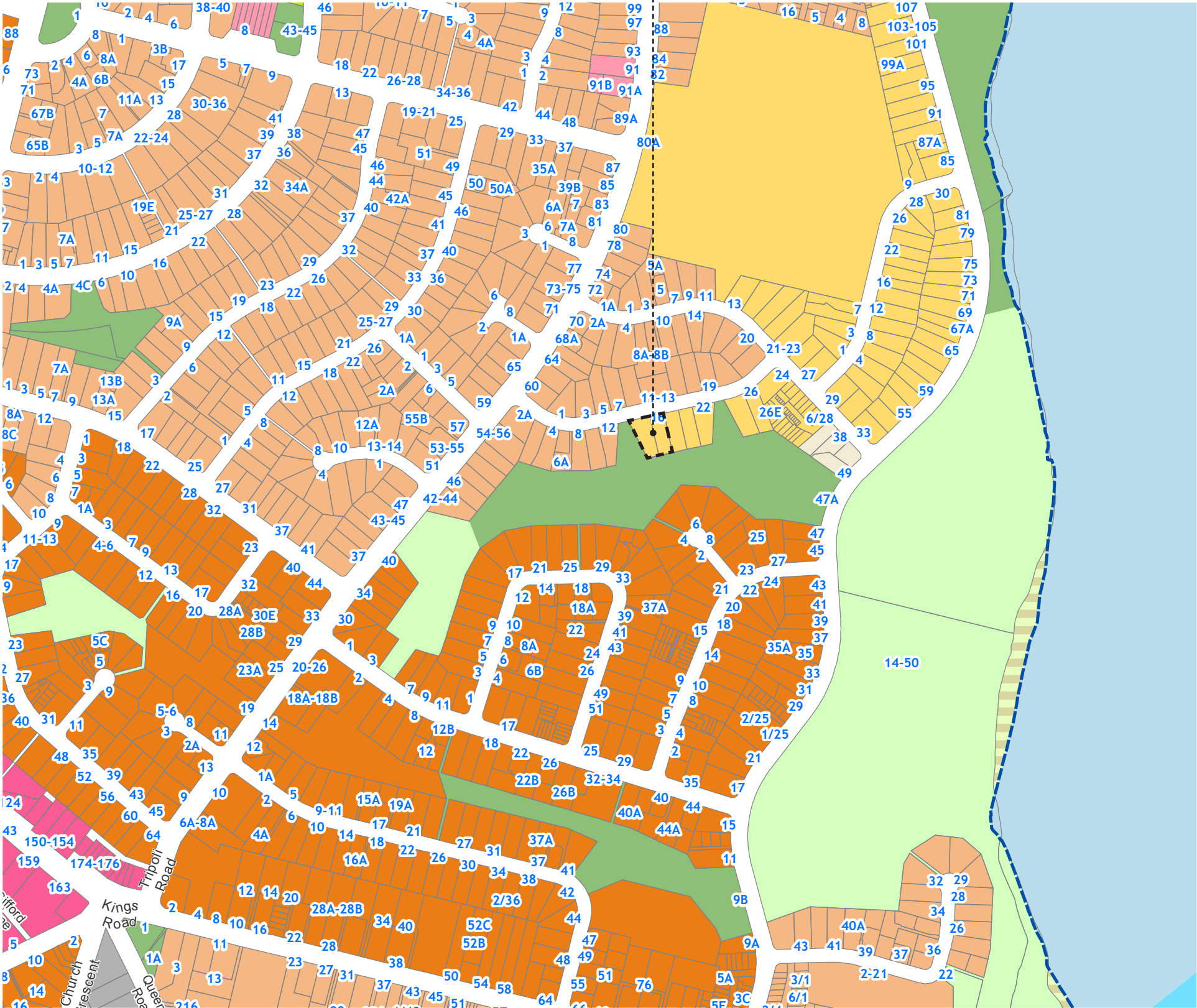
PN91 - 14 & 16 Larsen Road

Development Control Summary

Building Height	8m
Height in relation to boundary	2.5m and 45 degrees or alternative measured within 20m of site frontage
Yards	Front 3m, Side 1m, Rear 1m
Impervious area	not exceeding 60%
Building Coverage	not exceeding 40%
Minimum Landscaped Area	minimum 40%

- Residential - Mixed Housing Suburban Zone
- Residential - Mixed Housing Urban Zone
- Residential - THAB Zone
- Business - Mixed Use Zone
- Business - Light Industry Zone
- Open Space - Informal Recreation Zone
- Open Space - Community Zone
- Open Space - Sport and Active Recreation Zone

PN90: 14 & 16 LARSEN ROAD



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# Urban Design Report

## Landscape and Communal Space

Included in the Tāmaki Precinct Masterplan are a series of social objectives which include extension of green networks and opening up / linking existing parks and reserves. PN91 sits adjacent to Johnson Reserve and there are a number of strategies which are included in the masterplan, including;

- Land exchange to open park up to the street
- Revegetate creek along its length while allowing for access and clear site lines
- New development to front park and improve surveillance
- Upgrade and extend pedestrian / cycle paths to encourage active use of reserve.

The design provides visual and physical connectivity with Johnson Reserve via a terraced arrangement of the units on the site. The stepped nature of the terraced building follows the natural topography. The proposed units are three-storeys with primary living located on the second floor. This ties in with the Precinct Masterplan objectives by providing visual connection and surveillance onto Johnson Reserve. Each unit will provide living areas and outdoor balconies to overlook the path - further enhancing the connection to the natural environment.

Access to the site is via a pedestrian path and JOAL, each unit has direct access to their unit. To activate the front and rear facades, wrap around balconies and pergolas have been provided with additional glazing.

- ① Proposed land-swap with Auckland Council Parks
- Primary Frontages
- Existing Park / Reserve Frontages
- Proposed Park / Reserve Frontages
- Area of proposed land-swap / extension of reserve
- Pedestrian Link
- Private Green Space
- Planting & Landscaping Buffer
- Front Door





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# Urban Design Report

## Connections - Movement Networks

### Vehicles

Resident vehicle access is off Larsen Road, providing 2 carparks per unit, in a straightforward layout. The two car parks for each unit are provided as one enclosed garage and another ‘under-croft’ car park in front of the garage.

Access for residents from both individual garage and carport is external, via the front entry door for each unit.

### Bicycles

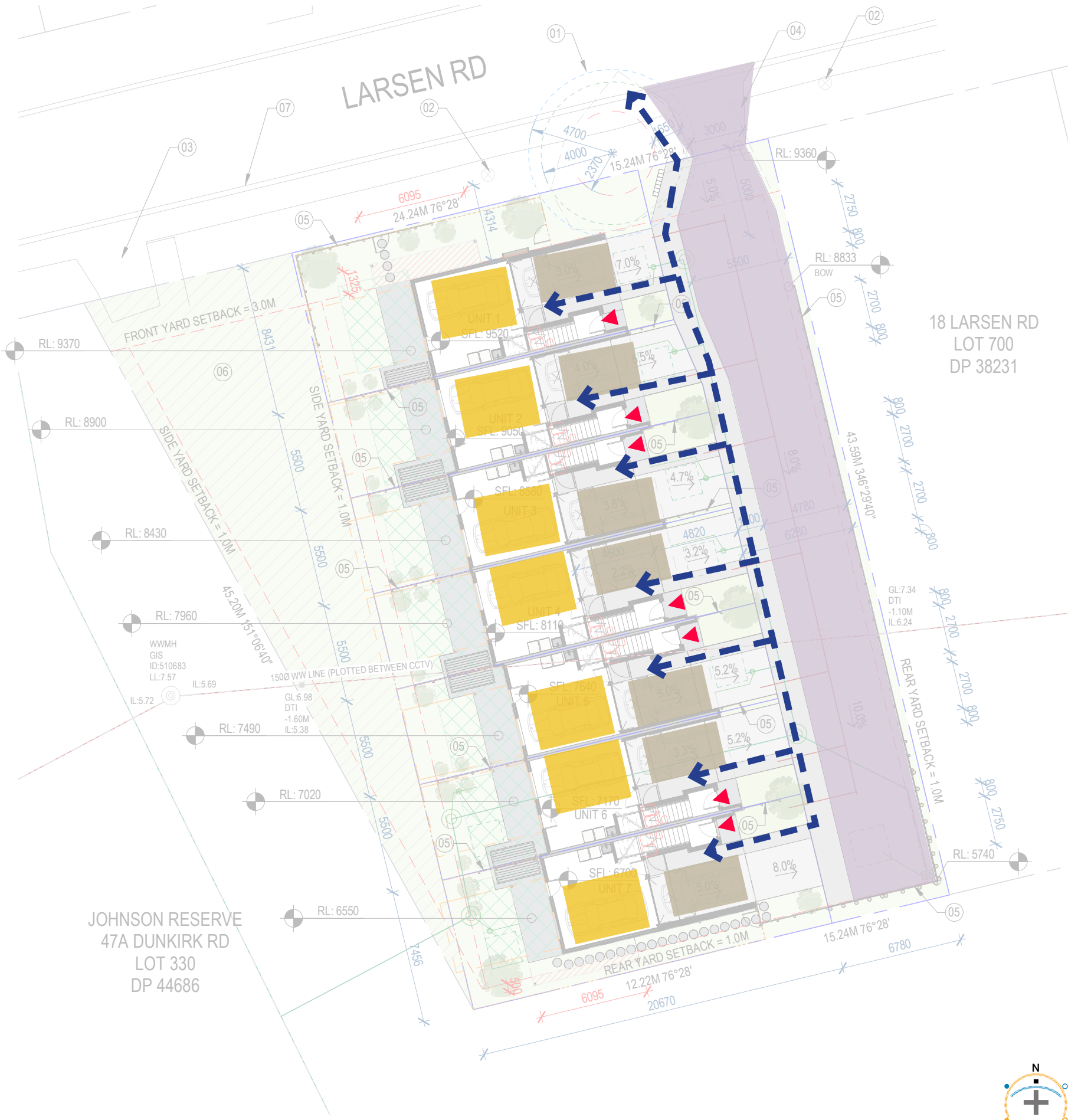
Each unit has a secure garage in addition to covered ‘under-croft’ carport which both provide ample space for bike storage.

### Refuse

Each unit has private refuse areas which can be located under the GF stairs, accessed via the side of carport. This provides private access and shifts any bins away from public view.

Refuse collection is via public street collection.

- JOAL
- Allocated parking - Garage
- Allocated parking - Carport
- Rubbish enclosures
- Bike Storage
- Front Door





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Visualisations



Streetscape integration visuals

These visualisations are provided for illustrative purposes only to assist in the assessment of the proposed development. They have been prepared from architectural design information and site photography; however, they are indicative and may not fully represent final construction detail, materials, colours, landscaping, or the exact relationship to the surrounding environment. Final outcomes may be subject to further detailed design and construction processes.

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Project: Larsen & Torino PN91

July 2025

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Visualisations



View South-East from Johnson Reserve and Larsen Road  
indicating area of land-swap and widened Reserve



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Visualisations



View South-west from Larsen Road



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# Visualisations

Design Statement

The proposed development integrates a land-swap with Auckland Council Parks as part of TRC's broader masterplan. A series of land exchanges around Johnson Reserve and Mauinaina Reserve aim to enhance spatial connectivity, improve amenities, and create safer environments. This initiative opens up existing reserve street frontages while incorporating pedestrian and cycle linkages for better accessibility.

For the development at 14-16 Larsen Road, a land exchange with Johnson Reserve is proposed to widen the street frontage, enhancing visibility and pedestrian access. As part of this exchange, a three-level building is proposed to provide natural surveillance of the reserve from first-floor balconies and living areas, fostering a safer and more engaging public space.

The design consists of terraced units oriented toward the western boundary and Johnson Reserve, maximising outlook and engagement with the landscape. Vehicle access is positioned along the eastern boundary to maintain an unobstructed connection with the reserve.

Responding to the site's natural contours, the building is staggered in section, with each unit following the natural topography. Units are paired in plan to introduce offsets that break up the building's mass, creating depth and shadow lines for a more dynamic facade.

Materiality is carefully selected to complement the residential character of the neighborhood. Brick is used on the ground floor not only for durability but also to humanise the building, creating a sense of warmth and scale at street level. Lightweight cladding on the upper floors reduces visual bulk, while a series of stepped monopitch roofs reflect the surrounding architectural language.

The façade and color palette are designed to be complementary and recessive, ensuring a harmonious relationship with Johnson Reserve while integrating seamlessly into the existing urban fabric.



View South-East



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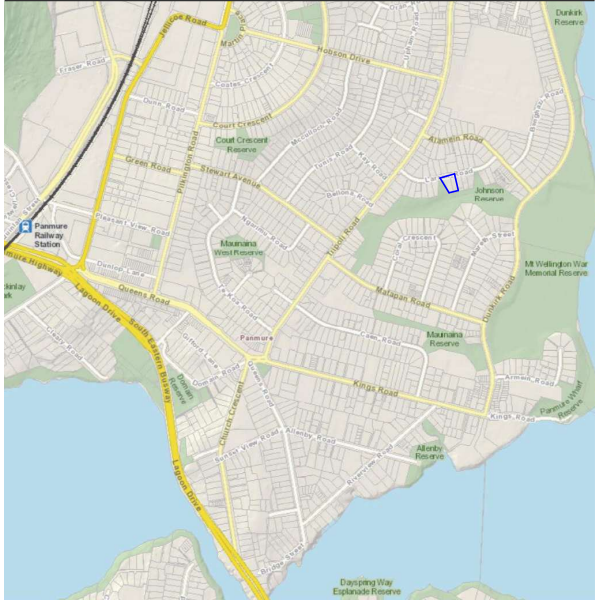
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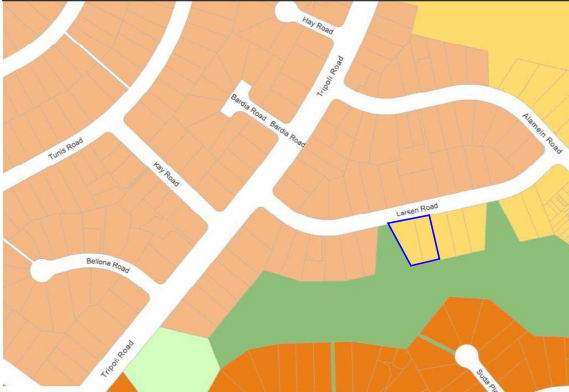
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**A2-00-0001** REVISION **D**



VICINITY MAP



PLANNING ZONE



- Residential - Mixed Housing Suburban Zone
- Residential - Mixed Housing Urban Zone
- Residential -Terrace Housing and Apartment Buildings Zone
- Open Space - Conservation Zone
- Open Space - Informal Recreation Zone

AERIAL PHOTO



LEGAL DESCRIPTION

A3-A00-0002 - LEGAL DESCRIPTION

CATEGORY	DESCRIPTION	REFERENCE
SITE ADDRESS	14-16 LARSEN RD, PANMURE, 1072 AUCKLAND	GEOMAPS
TERRITORIAL AUTHORITY	AUCKLAND COUNCIL	GEOMAPS
LOT	LOT 698-699	GEOMAPS
DEPOSITED PLAN	DP 38231	GEOMAPS
CERTIFICATE OF TITLE	NA44C/956, NA44C/657	GEOMAPS
SITE AREA	1,457 M² (794 M², 663 M²)	GEOMAPS
ZONE	RESIDENTIAL - MIXED HOUSING SUBURBAN	GEOMAPS
WIND ZONE	MEDIUM	BRANZ MAP
EXPOSURE ZONE	D	BRANZ MAP
EARTHQUAKE ZONE	ZONE 1	BRANZ MAP

PLANNING CONTROLS (MIXED HOUSING SUBURBAN)

- H4.6.4 BUILDING HEIGHT

BUILDINGS MUST NOT EXCEED 8M IN HEIGHT EXCEPT THAT 50% OF A BUILDING'S ROOF IN ELEVATION, MEASURED VERTICALLY FROM THE JUNCTION BETWEEN WALL AND ROOF, MAY EXCEED THIS HEIGHT BY 1M, WHERE THE ENTIRE ROOF SLOPES 15 DEGREES OR MORE.
- H4.6.5 HEIGHT IN RELATION TO BOUNDARY

BUILDINGS MUST NOT PROJECT BEYOND A 45° RECESSION PLANE MEASURED VERTICALLY ABOVE GROUND LEVEL ALONG SIDE AND REAR BOUNDARIES.

2.5M + 45°

WHERE THE BOUNDARY FORMS PART OF A LEGAL RIGHT OF WAY, ENTRANCE STRIP OR ACCESS SITE, THE CONTROL APPLIES FROM THE FARTHEST BOUNDARY OF THAT LEGAL RIGHT OF WAY, ENTRANCE STRIP OR ACCESS SITE.
- H4.6.6 ALTERNATIVE HEIGHT IN RELATION TO BOUNDARY

THIS STANDARD IS AN ALTERNATIVE TO THE PERMITTED STANDARD H4.6.5 HEIGHT IN RELATION TO BOUNDARY AND APPLIES TO DEVELOPMENT THAT IS WITHIN 20M OF THE SITE FRONTAGE.

3.6M (VERTICAL HEIGHT), 1M (HORIZONTAL), 73.3° (UP TO 6.9M) AND 45°.
- H4.6.7 YARDS

FRONT - 3M  
SIDE - 1M  
REAR - 1M
- H4.6.8 MAXIMUM IMPERVIOUS AREA

60 % OF SITE AREA.
- H4.6.9 BUILDING COVERAGE

40% OF NET SITE AREA.
- H4.6.10 LANDSCAPED AREA

40% OF NET SITE AREA.  
  
50% OF THE AREA OF FRONT YARD MUST COMPRISE LANDSCAPED AREA.
- H4.6.11 OUTLOOK SPACE

(A) PRINCIPAL LIVING ROOM - 6M (DEPTH), 4M (WIDTH)  
(B) PRINCIPAL BEDROOM - 3M (DEPTH), 3M (WIDTH)  
(C) ALL OTHER HABITABLE ROOMS - 1M (DEPTH), 1M (WIDTH)
- H4.6.12 DAYLIGHT

WHERE THE PROPOSED BUILDING AND/OR OPPOSITE BUILDING CONTAINS PRINCIPAL LIVING OR BEDROOM WINDOWS IN A DWELLING, THAT PART OF THE BUILDING HIGHER THAN 3M OPPOSITE BUILDINGS WITHIN THE SAME SITE IS LIMITED IN HEIGHT TO TWICE THE HORIZONTAL DISTANCE BETWEEN THE TWO BUILDINGS FOR A LENGTH DEFINED BY A 55° ARC FROM THE CENTRE OF THE WINDOW.

THIS STANDARD DOES NOT APPLY TO DEVELOPMENT OPPOSITE THE FIRST 5M OF A BUILDING WHICH FACES THE STREET, MEASURED FROM THE FRONT CORNER OF THE BUILDING.
- H4.6.13 OUTDOOR LIVING SPACE

1. A DWELLING AT GROUND FLOOR LEVEL MUST HAVE AN OUTDOOR LIVING SPACE THAT IS AT LEAST 20M² THAT COMPRISES GROUND FLOOR AND/OR BALCONY/ ROOF/ TERRACE SPACE THAT:

(A) WHERE LOCATED AT GROUND LEVEL HAS NO DIMENSION LESS THAN 4M AND HAS A GRADIENT NOT EXCEEDING 1 IN 20; AND/OR  
(B) WHERE PROVIDED IN THE FORM OF BALCONY, PATIO OR ROOF TERRACE IS AT LEAST 5M² AND HAS A MINIMUM DIMENSION OF 1.8M; AND  
(C) IS ACCESSIBLE FROM THE DWELLING; AND  
(D) IS FREE OF BUILDINGS, PARKING SPACES, SERVICING AND MANOEUVRING AREAS.

2. A DWELLING LOCATED ABOVE GROUND FLOOR LEVEL MUST HAVE AN OUTDOOR LIVING SPACE IN THE FORM OF A BALCONY, PATIO OR ROOF TERRACE THAT:

(A) AT LEAST 5M² WITH MINIMUM DIMENSION OF 1.8 FOR STUDIO AND ONE-BEDROOM DWELLINGS;  
(B) AT LEAST 8M² WITH MINIMUM DIMENSION OF 1.8M FOR TWO OR MORE BEDROOM DWELLINGS; AND  
(C) IS ACCESSIBLE FROM THE DWELLING

3. WHERE OUTDOOR LIVING SPACE IS PROVIDED AT GROUND LEVEL, AND IS LOCATED SOUTH OF ANY BUILDING LOCATED ON THE SAME SITE, THE SOUTHERN BOUNDARY OF THAT SPACE MUST BE SEPARATED FROM ANY WALL OR BUILDING BY AT LEAST 2M + 0.9(H), WHERE (H) IS THE HEIGHT OF THE WALL OR BUILDING.
- H4.6.14 FRONT, SIDE AND REAR FENCES AND WALLS

FENCES OR WALLS OR A COMBINATION OF THESE STRUCTURES (WHETHER SEPARATE OR JOINED TOGETHER) MUST NOT EXCEED THE HEIGHT SPECIFIED BELOW, MEASURED FROM THE GROUND LEVEL AT THE BOUNDARY:

WITHIN THE FRONT YARD, EITHER:  
(I) 1.4M IN HEIGHT, OR  
(II) 1.8M IN HEIGHT FOR NO MORE THAN 50% OF THE SITE FRONTATE AND 1.4M FOR THE REMAINDER, OR  
(III) 1.8M IN HEIGHT IF THE FENCE IS AT LEAST 50% VISUALLY OPEN AS VIEWED PERPENDICULAR TO THE FRONT BOUNDARY.

WITHIN THE SIDE AND REAR YARDS: 2M

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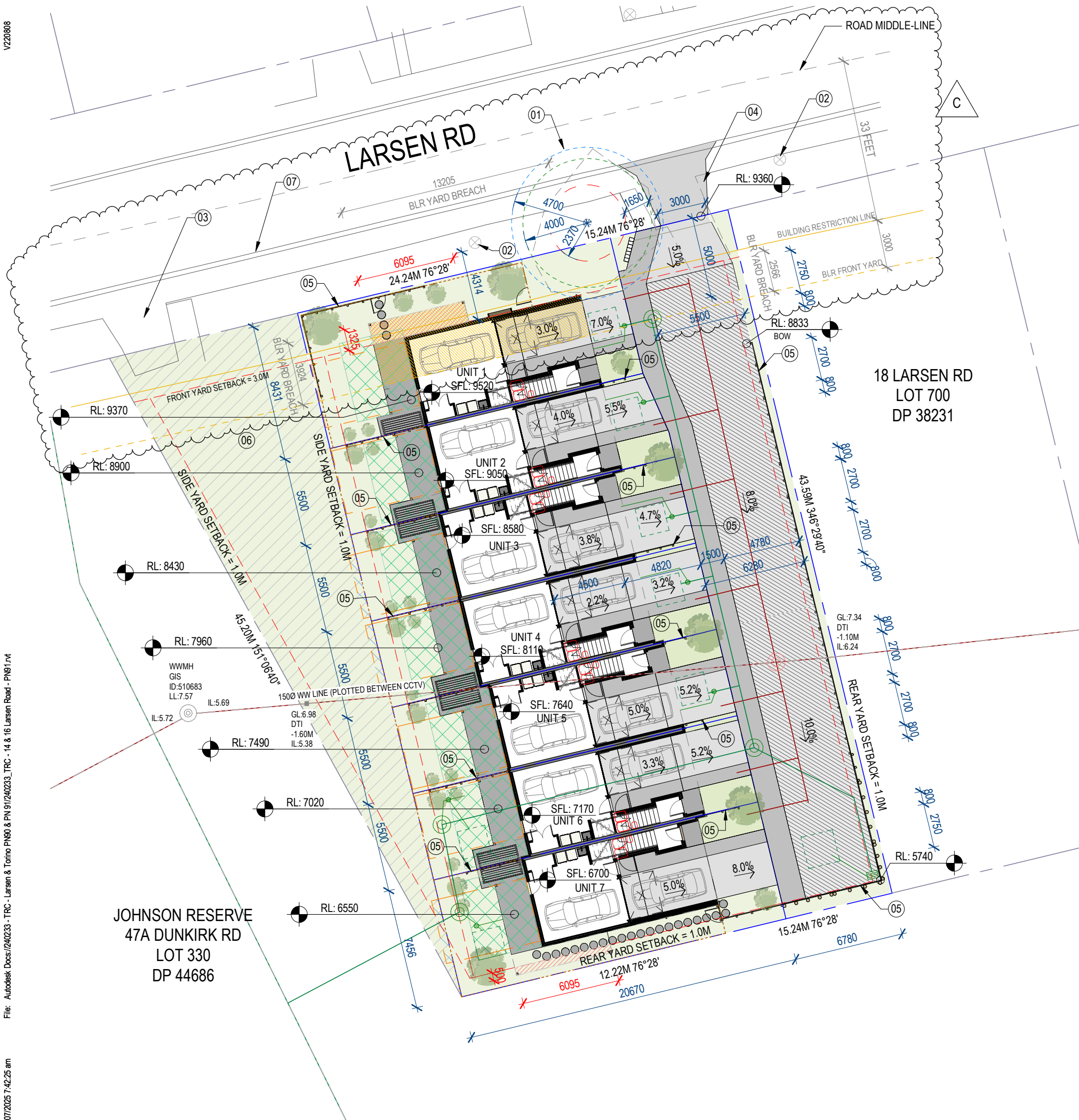
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SHEET NUMBER  
**A2-00-0005**

REVISION

**B**





## KEY NOTES

- 01 EXISTING TREES TO REMAIN
- 02 EXISTING POWER POLE
- 03 EXISTING VEHICLE CROSSING TO BE DEMOLISHED
- 04 EXISTING VEHICLE CROSSING TO BE UPGRADED
- 05 PROPOSED RETAINING WALL. REFER CIVIL DRAWINGS
- 06 LAND EXCHANGE AGREEMENT WITH PARKS
- 07 LETTERBOX BANK

## SHEET NOTES

- SITE SURVEY INFORMATION AS PROVIDED BY ENVELOPE SURVEYING. (NOVEMBER 2024)
- EXISTING WW LINE LOCATION AS PROVIDED BY HALL SURVEYING (MARCH 2025)
- SUBDIVISION AS PROVIDED BY HALL SURVEYING. (APRIL 2025)
- LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES. (APRIL 2025)
- REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES BY KIRK ROBERTS LTD. (APRIL 2025)
- LEVELS AND GRADIENTS SHOWN FOR REFERENCE. DRAWINGS TO BE READ IN CONJUNCTION WITH CIVIL ENGINEERING DOCUMENTATION
- CONDITIONS OF BUILDING LINE RESTRICTIONS AS PER DOCUMENT K39028 - BLR. REFERENCE ROAD MIDDLE-LINE AS PER SITE SURVEY PROVIDED BY ENVELOPE (NOVEMBER 2024)

## LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- YARD SETBACK
- BUILDING LINE RESTRICTION
- BLR FRONT YARD
- YARD SETBACK INFRINGEMENT
- BUILDING LINE RESTRICTION YARD INFRINGEMENT
- 20M<sup>2</sup> (5Mx4M) OUTDOOR LIVING AREA
- OUTLOOK SPACE
- OUTLOOK INFRINGEMENT
- PROPOSED PAVED AREAS - REFER TO LANDSCAPE DESIGN
- PERMEABLE CONCRETE
- PROPOSED LAND-SWAP TO JOHNSON RESERVE' AREA EXCLUDED
- EXISTING PUBLIC WASTEWATER
- EXISTING PUBLIC STORMWATER
- PROPOSED STORMWATER LINE
- PROPOSED WASTEWATER LINE
- PROPOSED FENCE - REFER TO LANDSCAPE DESIGN
- STREET TREE SRZ (RED DASH), PRZ (GREEN DASH), TPZ BLUE DASH). REFER ARBORIST REPORT BY PEERS BROWN MILLER

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CLIENT  
**TRC - LARSEN & TORINO PN91**

PROJECT ADDRESS  
**14-16 LARSEN RD, PANMURE,  
1072 AUCKLAND**

PROJECT NUMBER  
**240233-B**

KEY PLAN

STAMP

THE FINE PRINT

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SHEET NAME  
**SITE PLAN - GROUND FLOOR**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 250**

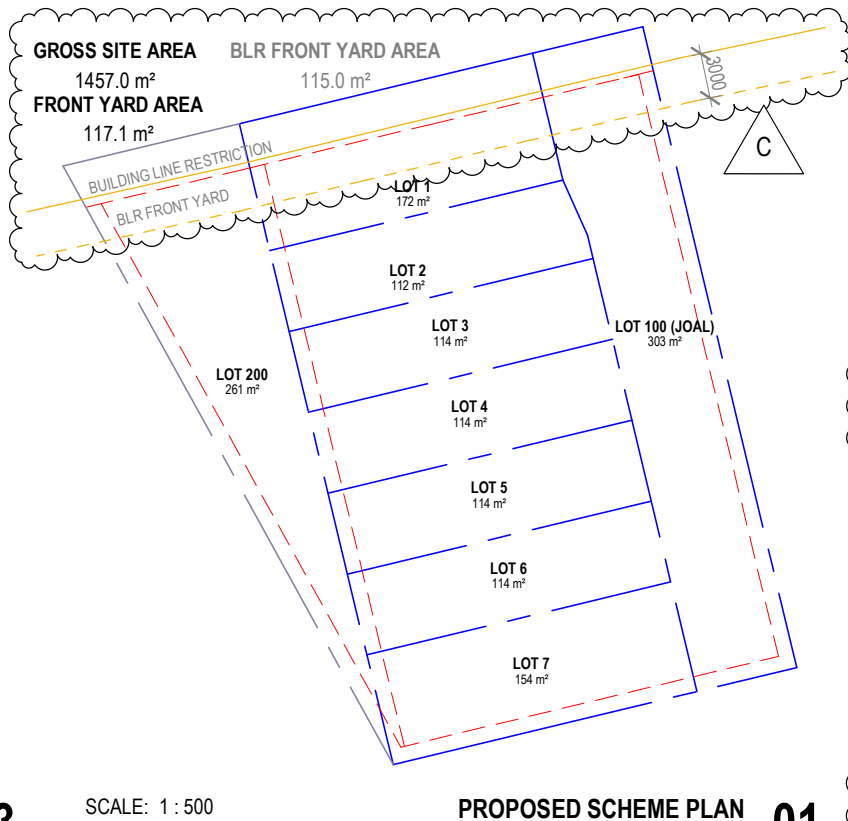
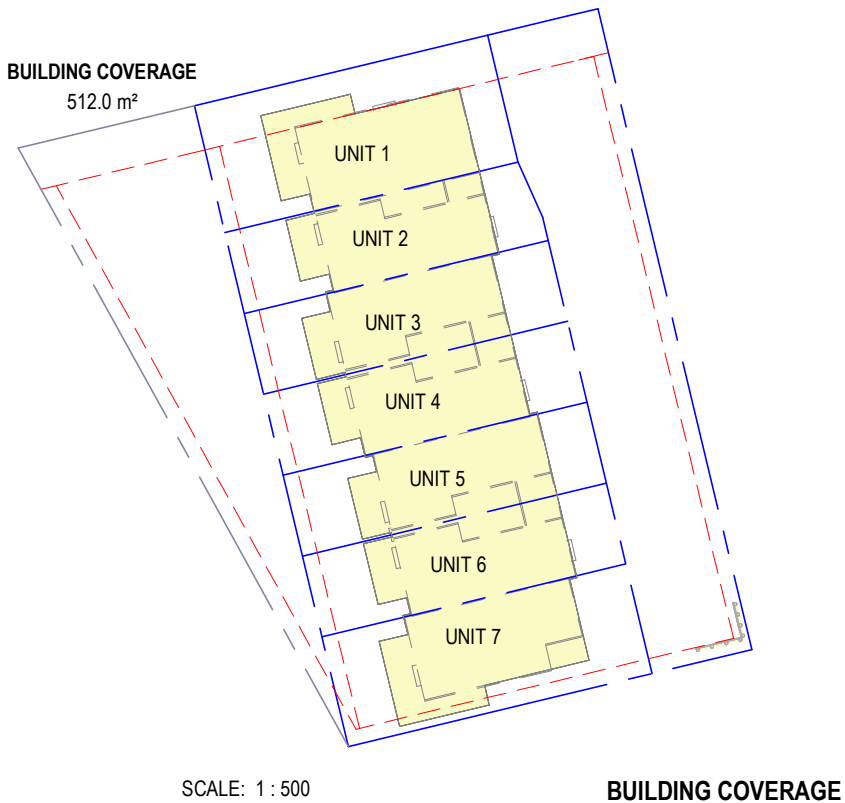
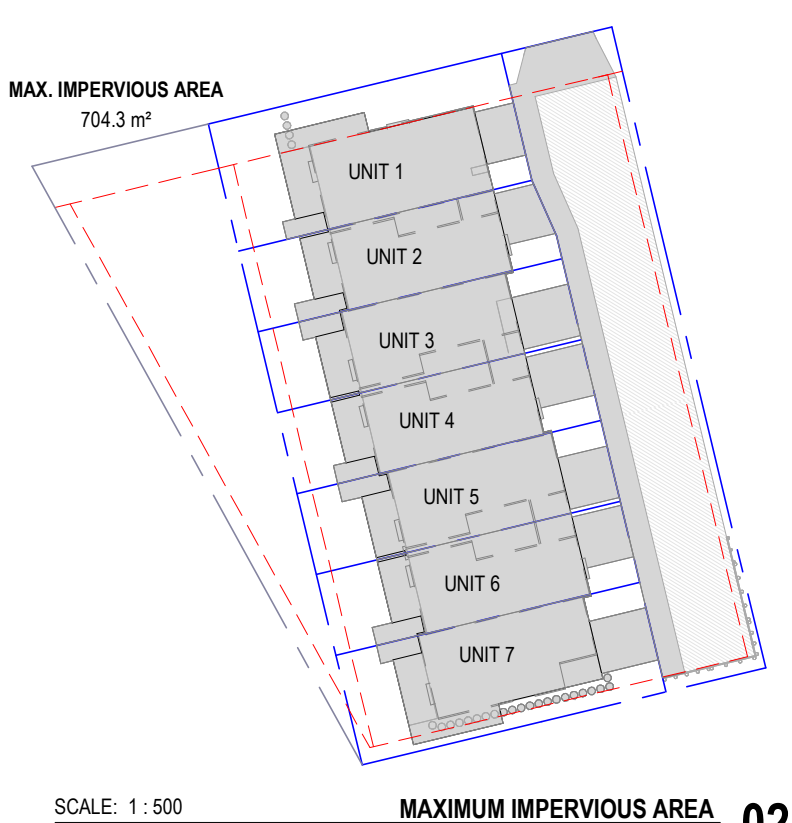
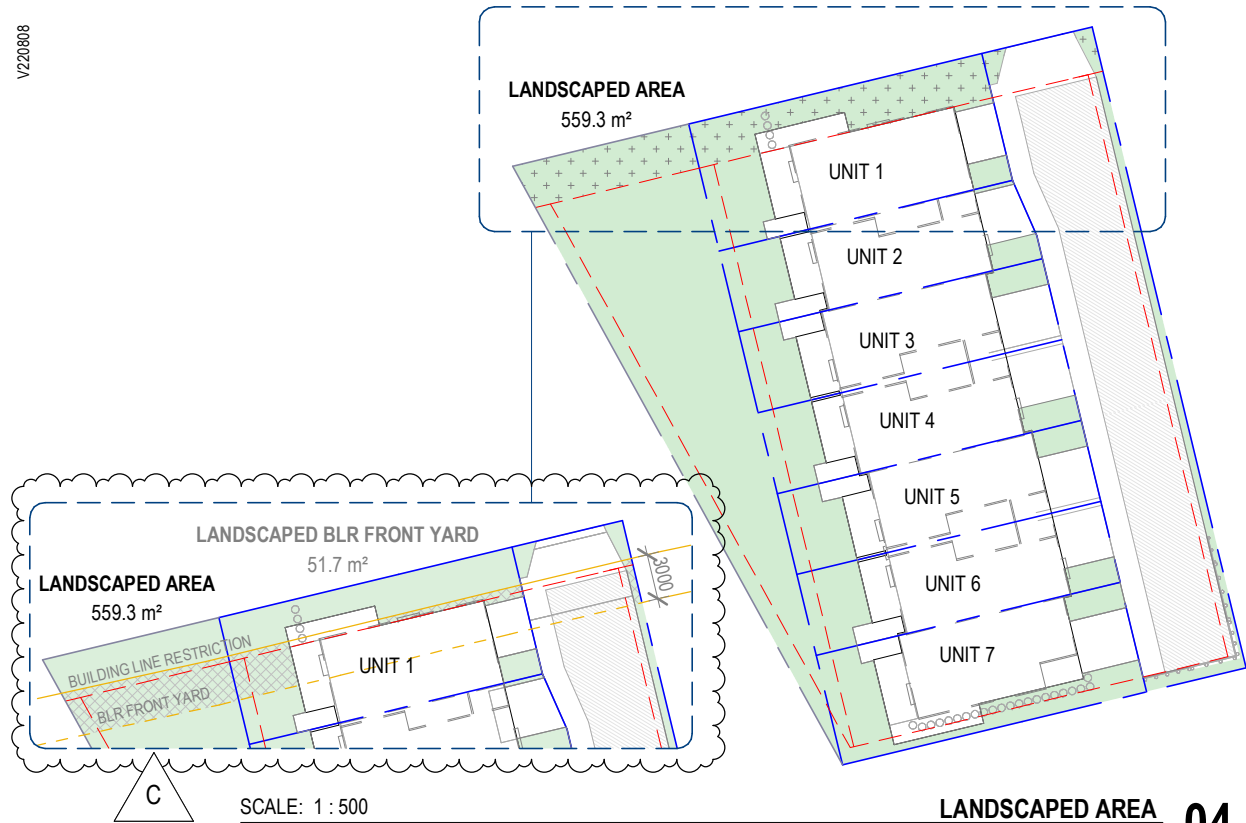
SHEET SIZE  
**A3=100%**

PRINT IN COLOUR

SHEET NUMBER  
**A2-00-2200**

REVISION  
**C**





## KEY NOTES

## SHEET NOTES

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- LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES. (APRIL 2025)
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## LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- YARD SETBACK
- BUILDING LINE RESTRICTION
- BLR FRONT YARD
- MAXIMUM IMPERVIOUS AREA
- PERMEABLE CONCRETE (EXCLUDED FROM CALCULATIONS)
- BUILDING COVERAGE
- LANDSCAPED AREA
- FRONT YARD LANDSCAPED AREA
- LANDSCAPING WITHIN BLR FRONT YARD

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**240233-B**

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SHEET NAME  
**SITE DEVELOPMENT CONTROLS PLAN -  
EXISTING SITE AREA**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 500**

SHEET SIZE  
**A3=100%**

SHEET NUMBER  
**A2-00-2500**

PRINT IN COLOUR

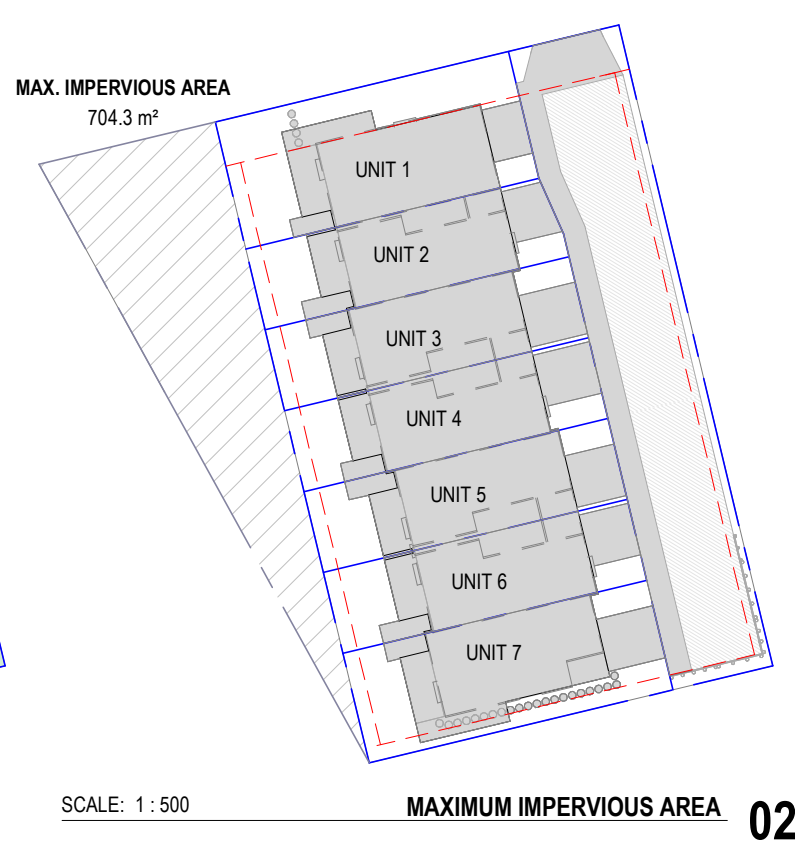
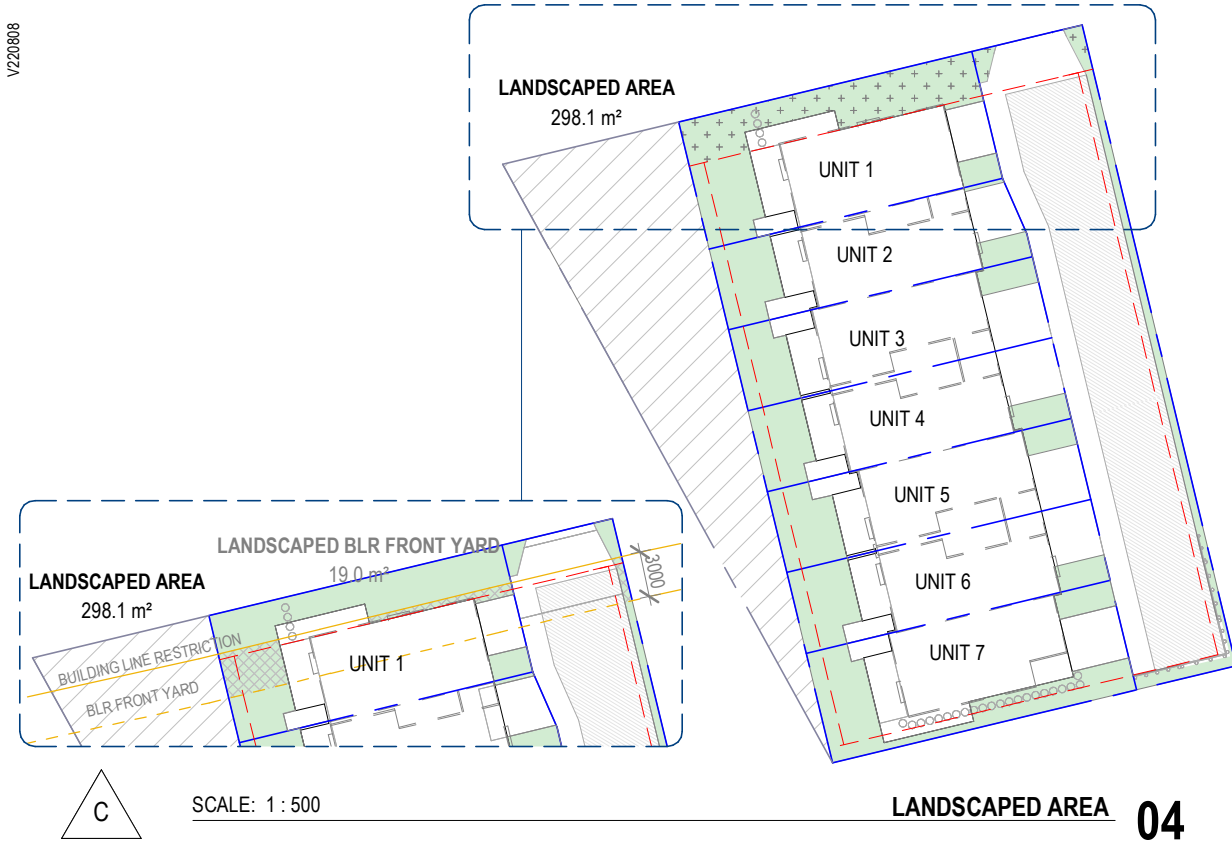
REVISION  
**C**

	Area (m <sup>2</sup> )	COVERAGE (%)	MAX.	MIN.	COMPLIANCE
BLR FRONT YARD AREA	215 m <sup>2</sup>	100.0%	—	—	—
LANDSCAPED BLR FRONT YARD	132 m <sup>2</sup>	61.3%	—	50%	YES

## SITE DEVELOPMENT CONTROL CALCULATIONS (EXISTING SITE AREA)

	Area (m <sup>2</sup> )	COVERAGE (%)	MAX.	MIN.	COMPLIANCE
GROSS SITE AREA	1457 m <sup>2</sup>	100.0%			
BUILDING COVERAGE	512 m <sup>2</sup>	35.1%	40%		YES
MAX. IMPERVIOUS AREA	704 m <sup>2</sup>	48.3%	60%		YES
LANDSCAPED AREA	559 m <sup>2</sup>	38.4%	—	40%	NO
FRONT YARD AREA	117 m <sup>2</sup>	100.0%			
LANDSCAPED FRONT YARD	92 m <sup>2</sup>	78.2%	—	50%	YES





## KEY NOTES

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## LEGEND

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- PROPERTY BOUNDARY
- YARD SETBACK
- BUILDING LINE RESTRICTION
- BLR FRONT YARD
- MAXIMUM IMPERVIOUS AREA
- PERMEABLE CONCRETE (EXCLUDED FROM CALCULATIONS)
- BUILDING COVERAGE
- LANDSCAPED AREA
- FRONT YARD LANDSCAPED AREA
- LANDSCAPING WITHIN BLR FRONT YARD
- PROPOSED LAND-SWAP TO JOHNSON RESERVE' AREA EXCLUDED

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PROJECT NUMBER  
**240233-B**

KEY PLAN

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SHEET NAME  
**SITE DEVELOPMENT CONTROLS PLAN -  
NEW SITE AREA**

PROJECT STATUS  
**RESOURCE CONSENT**

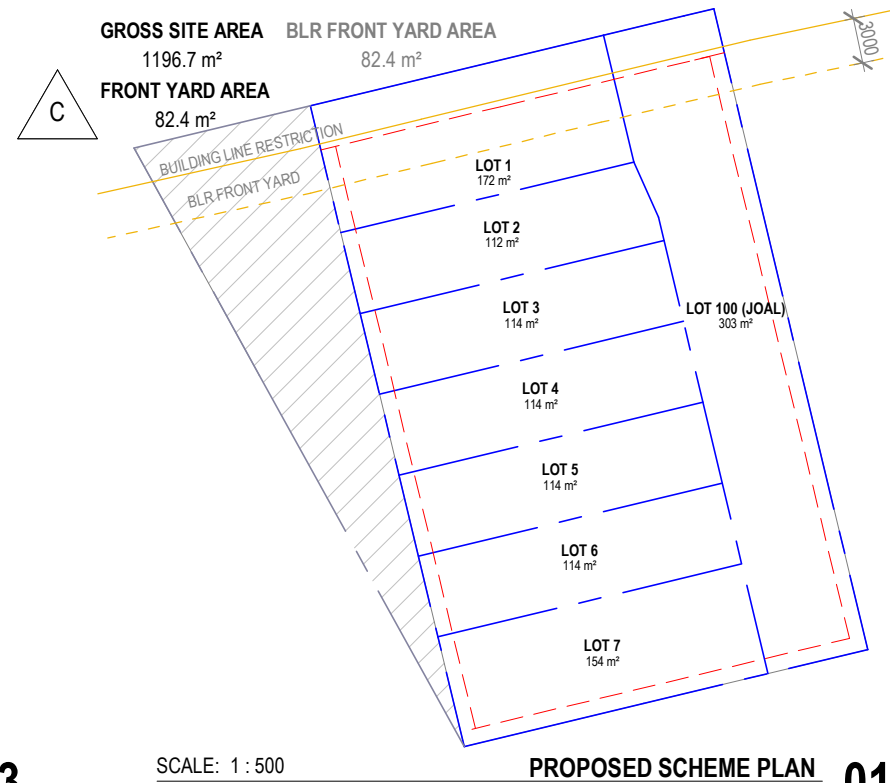
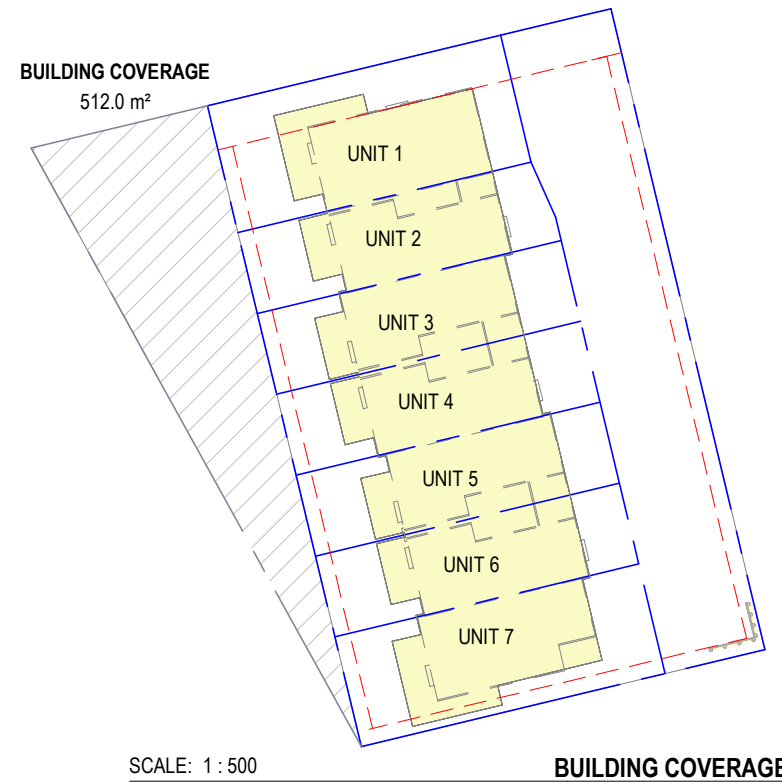
SHEET SCALE  
**1 : 500**

SHEET SIZE  
**A3=100%**

SHEET NUMBER  
**A2-00-2501**

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REVISION  
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BUILDING COVERAGE				LANDSCAPED AREA		MAXIMUM IMPERVIOUS AREA	
	Area (m <sup>2</sup> )	Area (m <sup>2</sup> )	COVERAGE (%)	Area (m <sup>2</sup> )	COVERAGE (%)	Area (m <sup>2</sup> )	COVERAGE (%)
LOT 1	172 m <sup>2</sup>	80.14 m <sup>2</sup>	46.6	79.42 m <sup>2</sup>	46.2	83.91 m <sup>2</sup>	54.6
LOT 2	112 m <sup>2</sup>	70.05 m <sup>2</sup>	61.4	27.49 m <sup>2</sup>	24.5	64.93 m <sup>2</sup>	75.8
LOT 3	114 m <sup>2</sup>	70.05 m <sup>2</sup>	61.4	25.44 m <sup>2</sup>	22.3	67.21 m <sup>2</sup>	76.5
LOT 4	114 m <sup>2</sup>	70.05 m <sup>2</sup>	61.4	25.44 m <sup>2</sup>	22.3	67.35 m <sup>2</sup>	76.6
LOT 5	114 m <sup>2</sup>	70.05 m <sup>2</sup>	61.4	26.77 m <sup>2</sup>	23.5	66.01 m <sup>2</sup>	75.4
LOT 6	114 m <sup>2</sup>	70.05 m <sup>2</sup>	61.4	26.77 m <sup>2</sup>	23.5	66.15 m <sup>2</sup>	75.6
LOT 7	154 m <sup>2</sup>	80.21 m <sup>2</sup>	52.1	56.88 m <sup>2</sup>	36.9	100.30 m <sup>2</sup>	65.1
LOT 100 (JOAL)	303 m <sup>2</sup>	1.41 m <sup>2</sup>	0.5	29.93 m <sup>2</sup>	9.9	78.46 m <sup>2</sup>	25.9
		512.01 m <sup>2</sup>		298.14 m <sup>2</sup>		704.31 m <sup>2</sup>	

	FRONT YARD AREA (m <sup>2</sup> )	LANDSCAPED FRONT YARD (m <sup>2</sup> )	COVERAGE (%)	BLR FRONT YARD AREA (m <sup>2</sup> )	LANDSCAPING WITHIN BLR YARD (m <sup>2</sup> )	COVERAGE (%)
LOT 1	60 m <sup>2</sup>	51.77 m <sup>2</sup>	86.3	60 m <sup>2</sup>	17.44 m <sup>2</sup>	15.7
LOT 100 (JOAL)	23 m <sup>2</sup>	5.08 m <sup>2</sup>	22.1	23 m <sup>2</sup>	1.56 m <sup>2</sup>	3.7

## SITE DEVELOPMENT CONTROL CALCULATIONS (NEW SITE AREA)

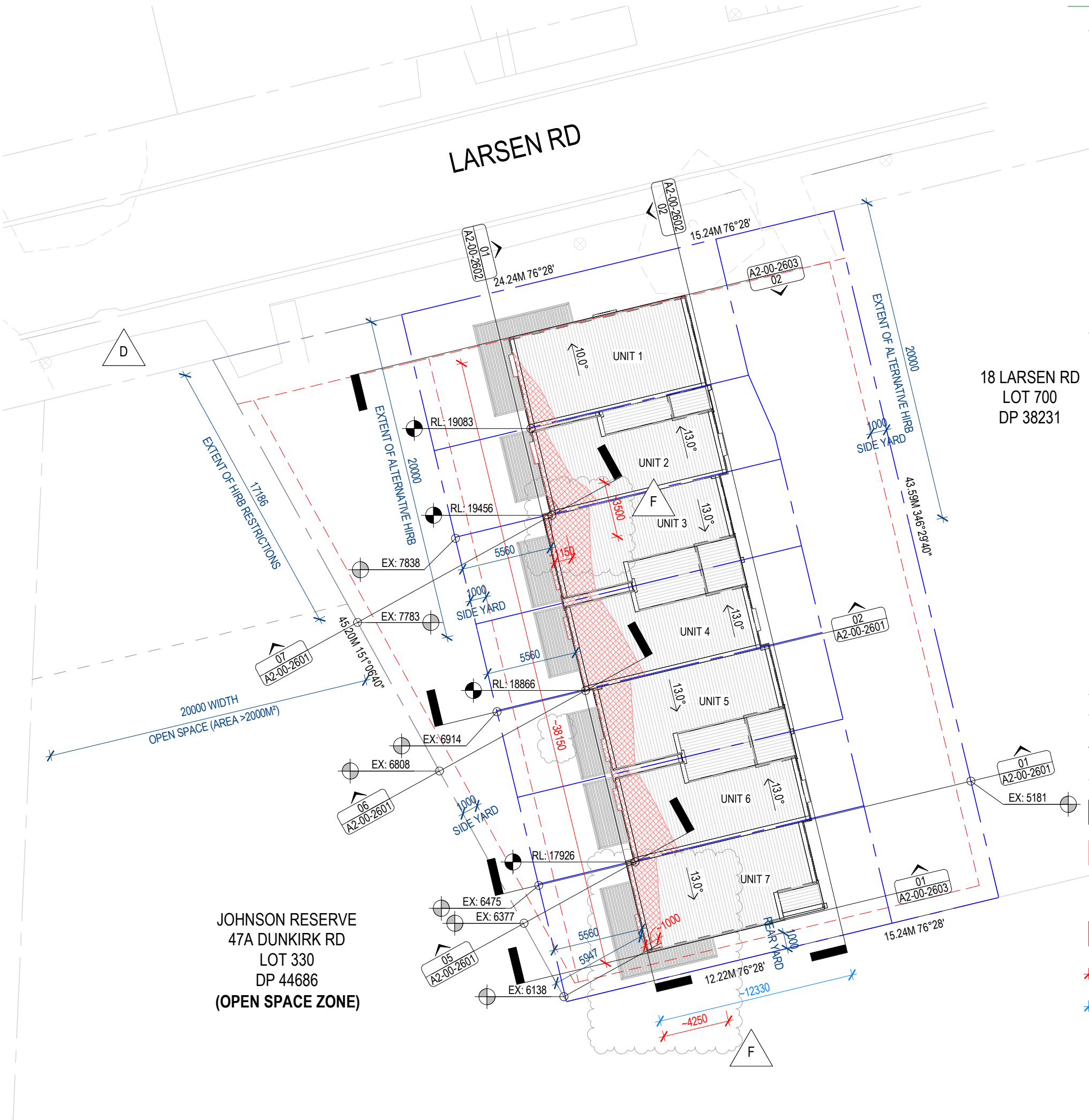
	Area (m <sup>2</sup> )	COVERAGE (%)	MAX.	MIN.	COMPLIANCE
GROSS SITE AREA	1197 m <sup>2</sup>	100.0%			
BUILDING COVERAGE	512 m <sup>2</sup>	42.8%	40%		NO
MAX. IMPERVIOUS AREA	704 m <sup>2</sup>	58.8%	60%		YES
LANDSCAPED AREA	298 m <sup>2</sup>	24.9%		40%	NO

FRONT YARD AREA	82 m <sup>2</sup>	100.0%			
LANDSCAPED FRONT YARD	57 m <sup>2</sup>	69.0%		50%	YES

BLR FRONT YARD AREA	82 m <sup>2</sup>	53.8%			
LANDSCAPED BLR FRONT YARD	19 m <sup>2</sup>	12.4%		50%	NO



SCALE: 1 : 250



KEY NOTES

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PROJECT NAME  
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PROJECT ADDRESS  
**14-16 LARSEN RD, PANMURE,  
1072 AUCKLAND**

PROJECT NUMBER  
**240233-B**

KEY PLAN

STAMP

SHEET NOTES

- SITE SURVEY INFORMATION AS PROVIDED BY ENVELOPE SURVEYING. (NOVEMBER 2024)
- SUBDIVISION AS PROVIDED BY HALL SURVEYING. (APRIL 2025)

LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- YARD SETBACK
- PROFILED METAL ROOFING
- STANDARD MHSU 2.5M+45° HIRB INFRINGEMENT - NEW SITE AREA
- ALTERNATIVE HIRB INFRINGEMENT - NEW SITE AREA
- HIRB INFRINGEMENT DIMENSION
- MAX. HEIGHT INFRINGEMENT DIMENSION

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SHEET NAME  
**HIRB PLAN**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 250**

SHEET SIZE  
**A3=100%**

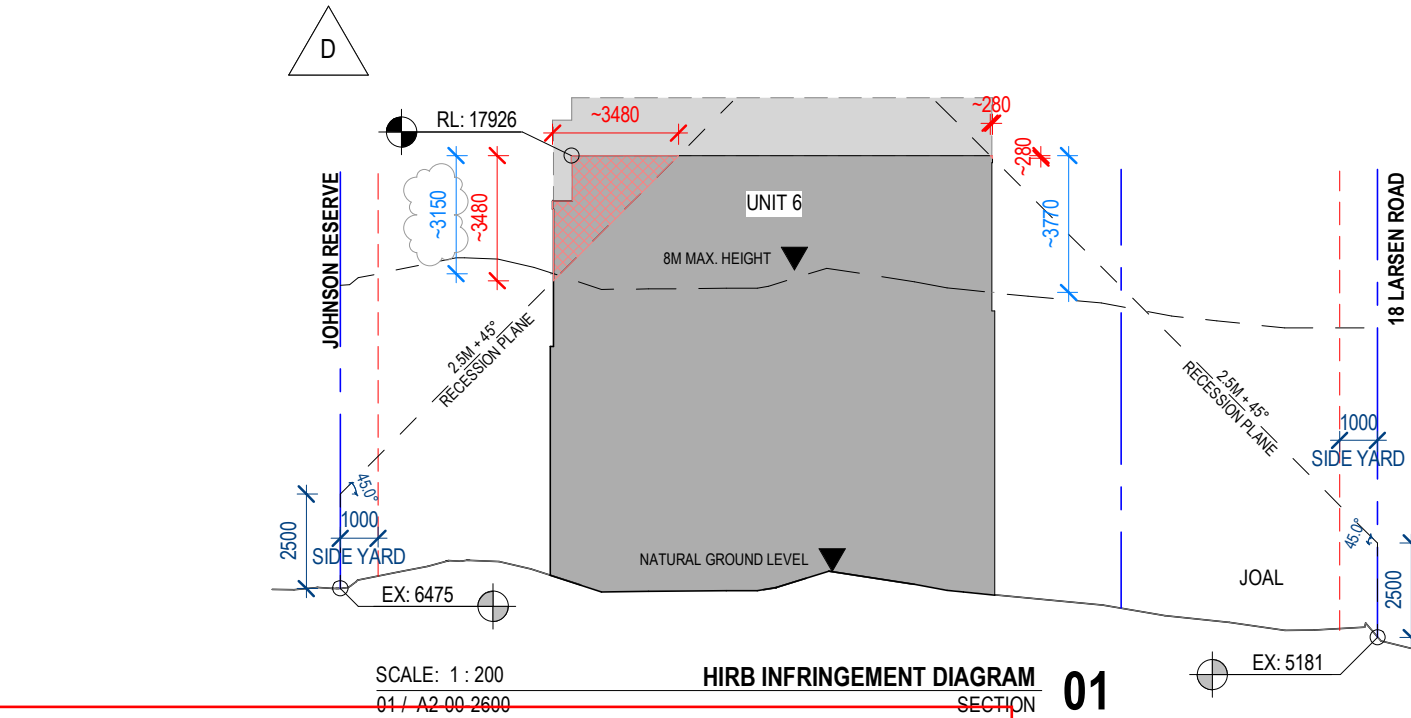
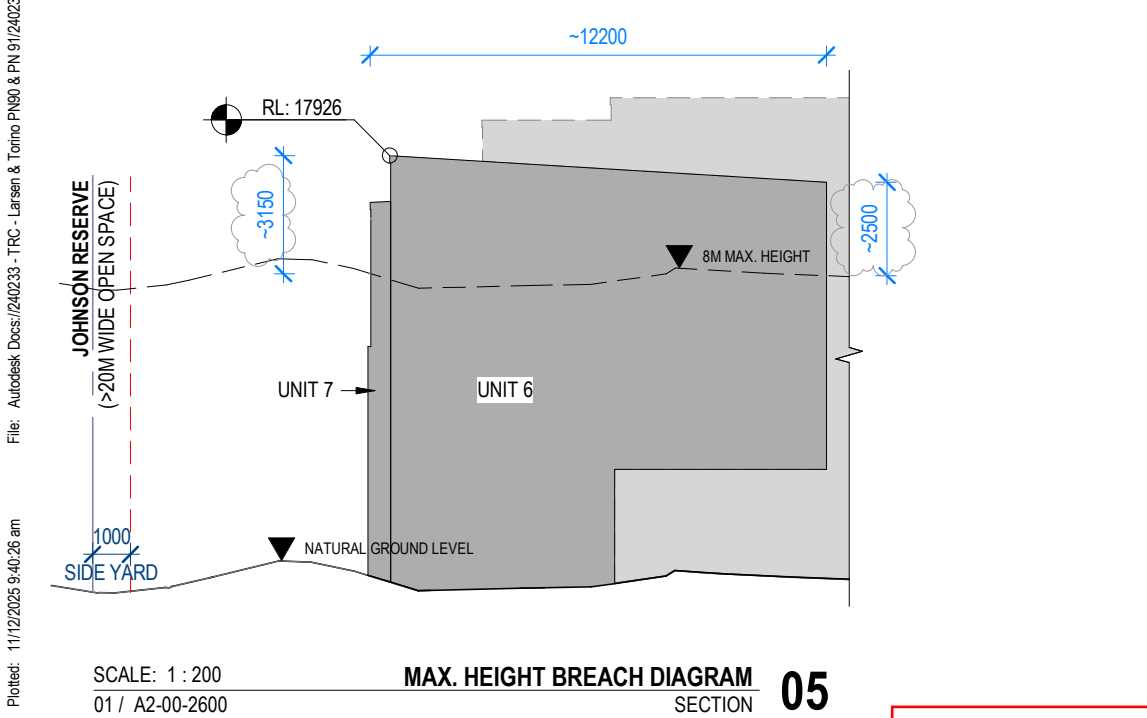
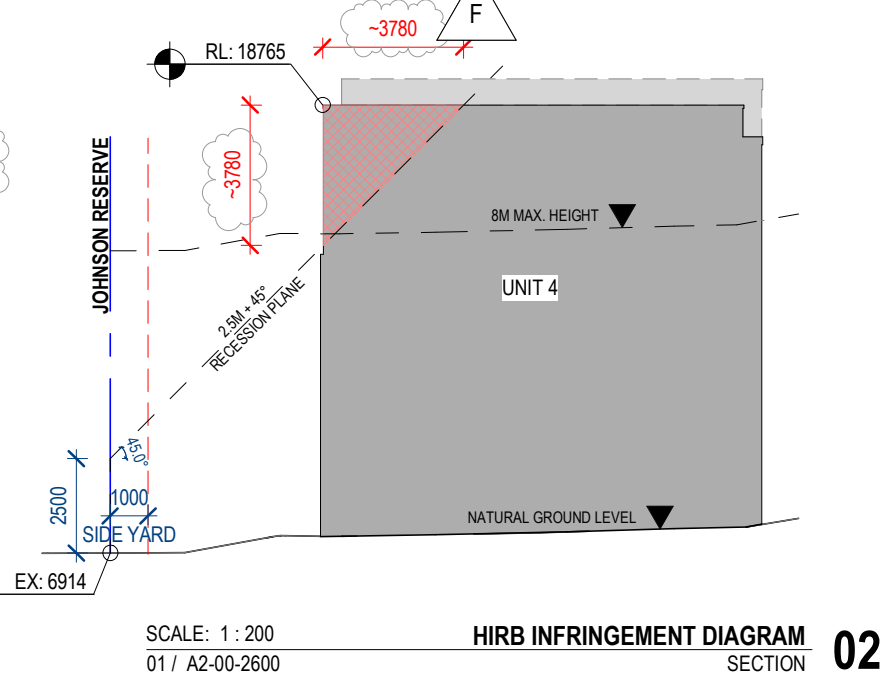
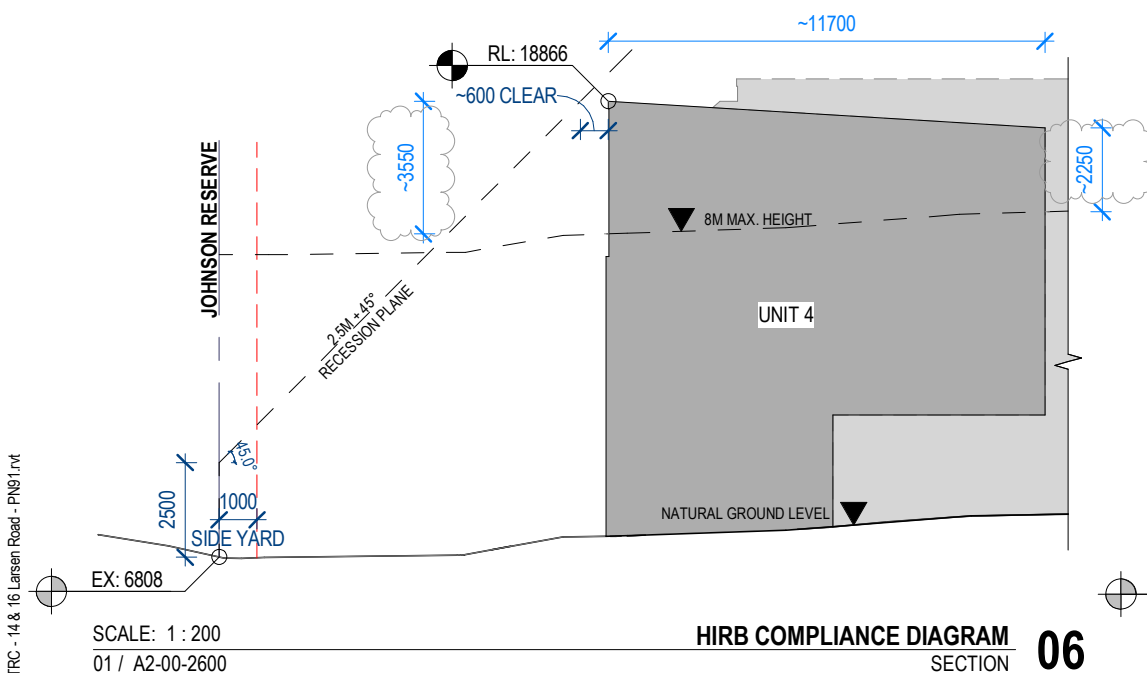
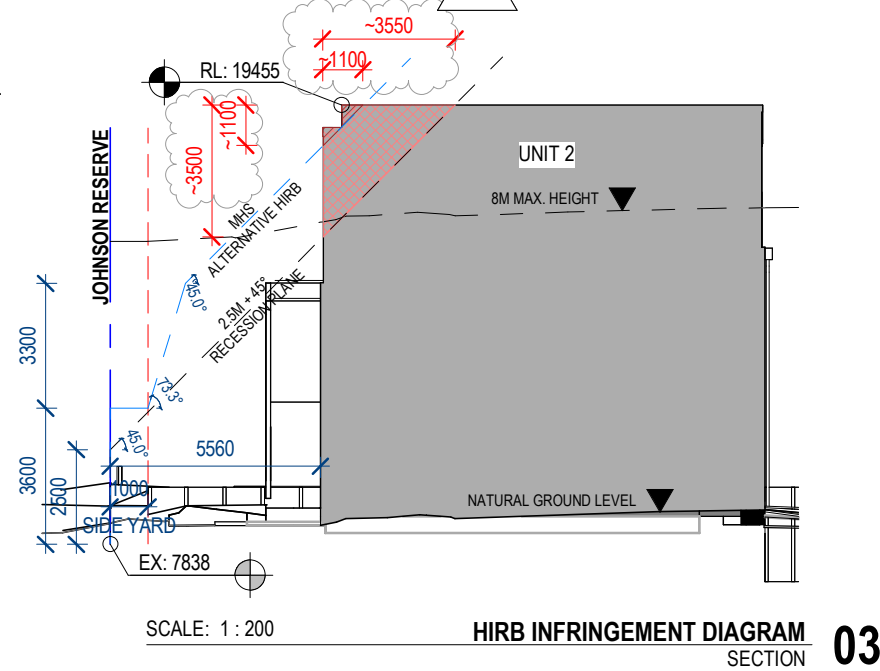
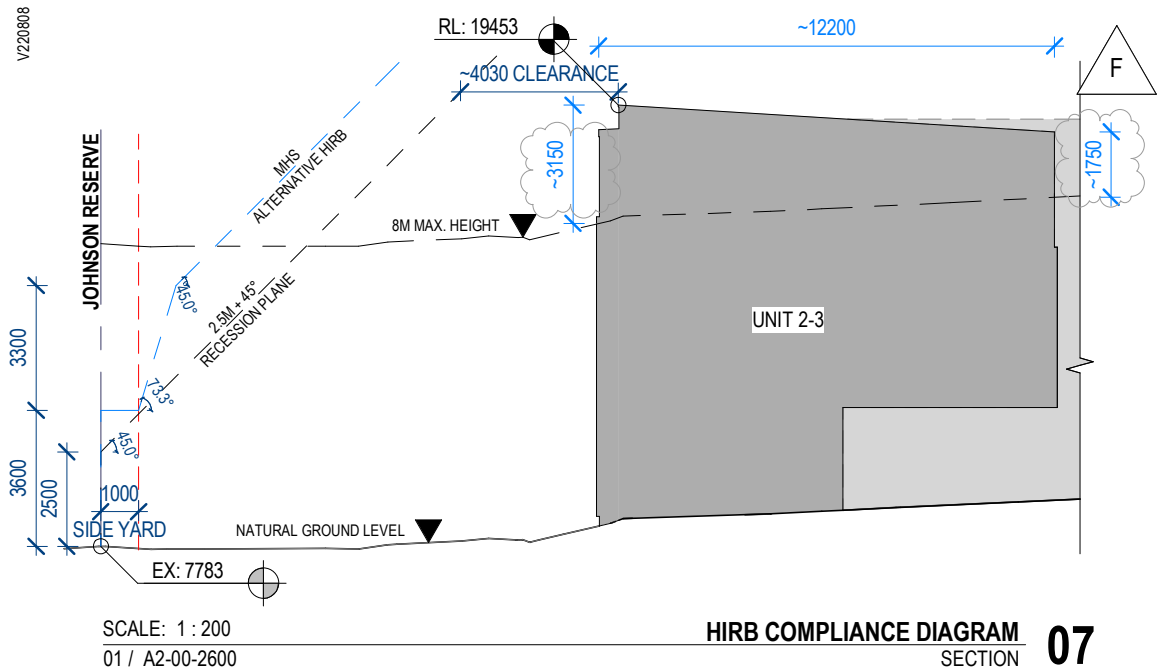
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SHEET NUMBER  
**A2-00-2600**

REVISION  
**F**

HIRB PLAN 01





## SHEET NOTES

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## LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- YARD SETBACK
- OUTLINE OF BUILDING AT SECTION CUT
- OUTLINE OF BUILDING BEYOND SECTION CUT
- STANDARD MHSU 2.5M+45° HIRB INFRINGEMENT - NEW SITE AREA
- ALTERNATIVE HIRB INFRINGEMENT - NEW SITE AREA
- HIRB INFRINGEMENT DIMENSION
- MAX. HEIGHT INFRINGEMENT DIMENSION

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PROJECT NUMBER  
**240233-B**

KEY PLAN



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SHEET NAME  
**HIRB DIAGRAMS**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**As indicated**

SHEET SIZE  
**A3=100%**

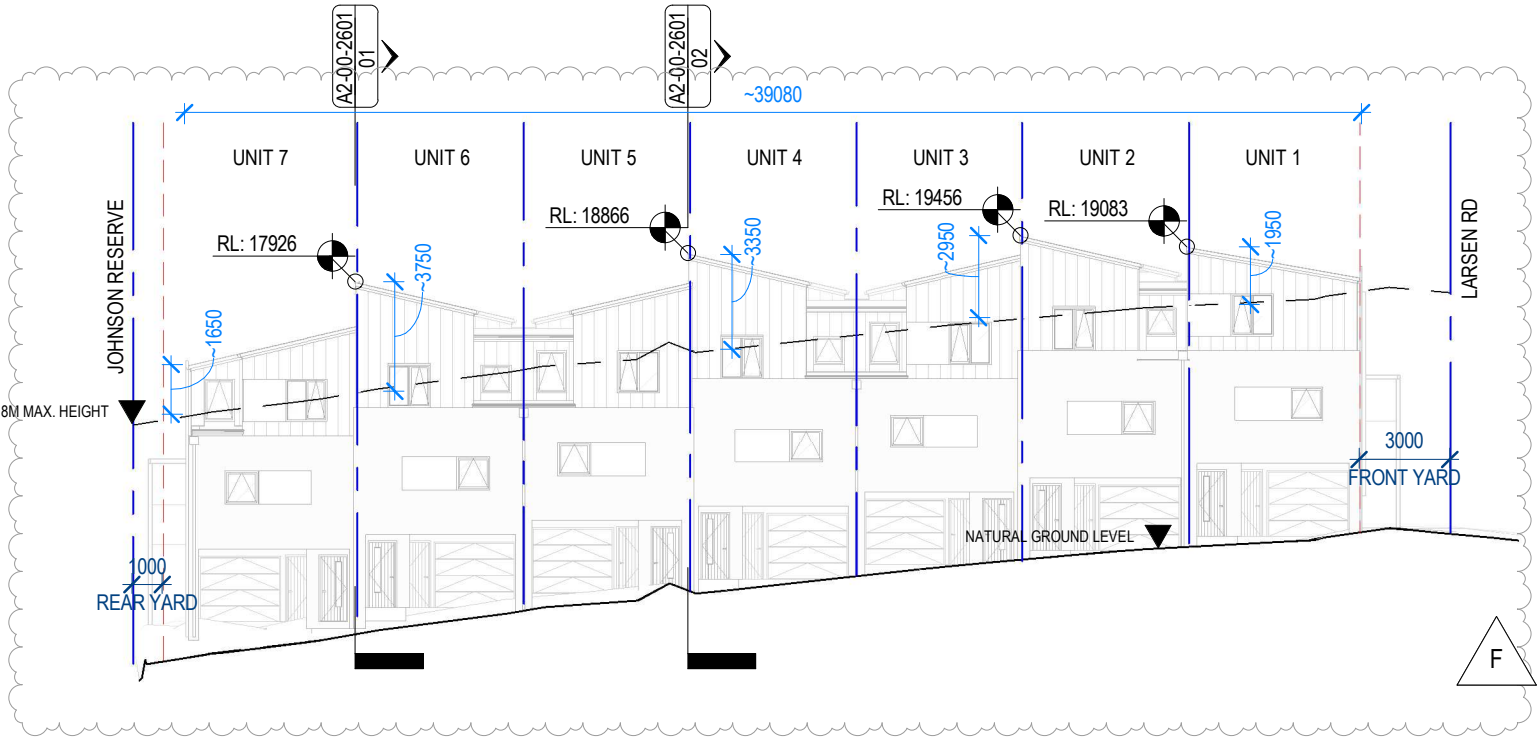
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SHEET NUMBER  
**A2-00-2601**

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**F**



SCALE: 1 : 250  
01 / A2-00-2600

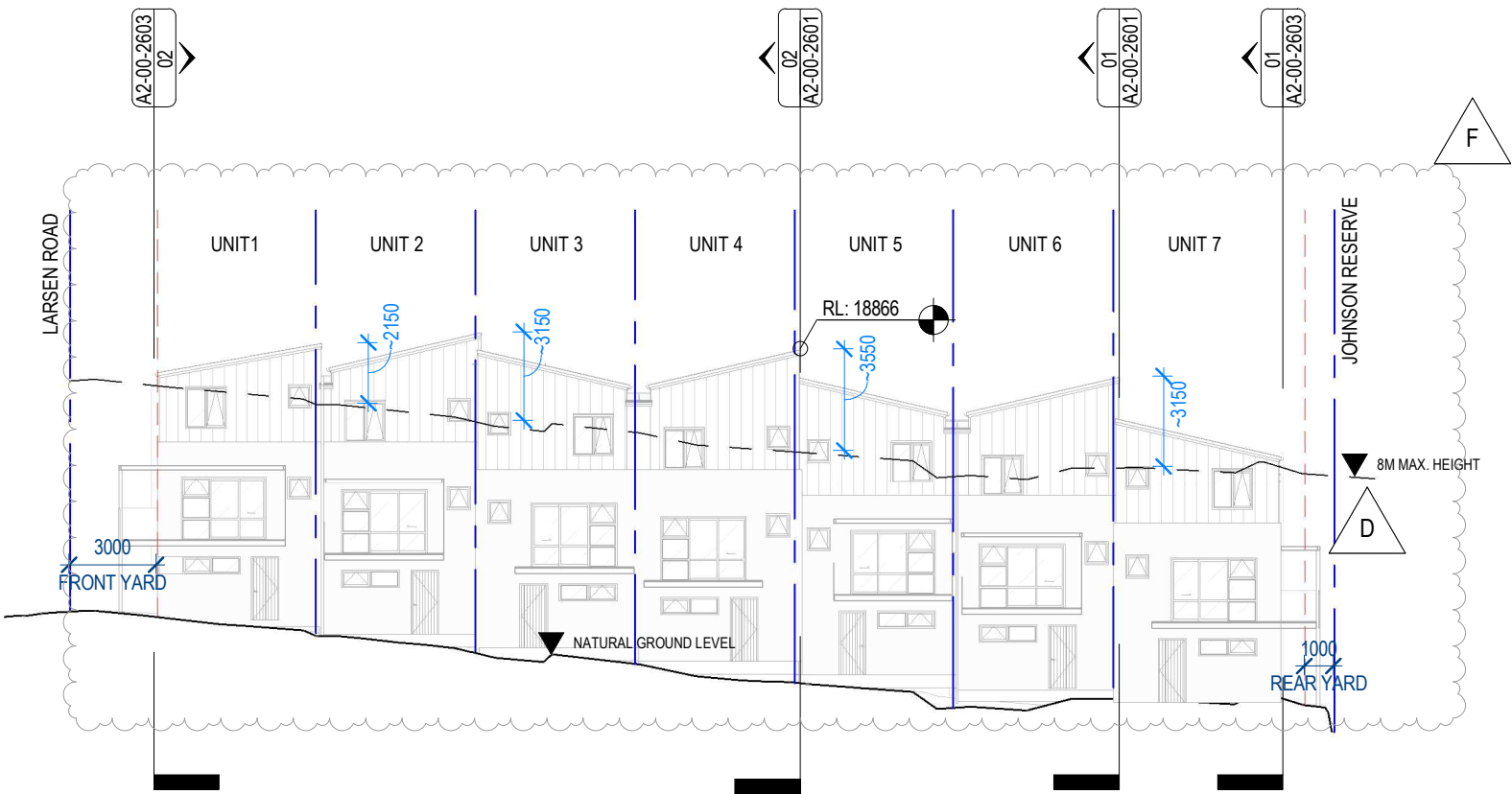


SCALE: 1 : 250  
01 / A2-00-2600

MAX HEIGHT ELEVATION  
EAST

02

STAMP



LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- YARD SETBACK

THE FINE PRINT

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SHEET NAME  
MAX HEIGHT ELEVATIONS

PROJECT STATUS  
RESOURCE CONSENT

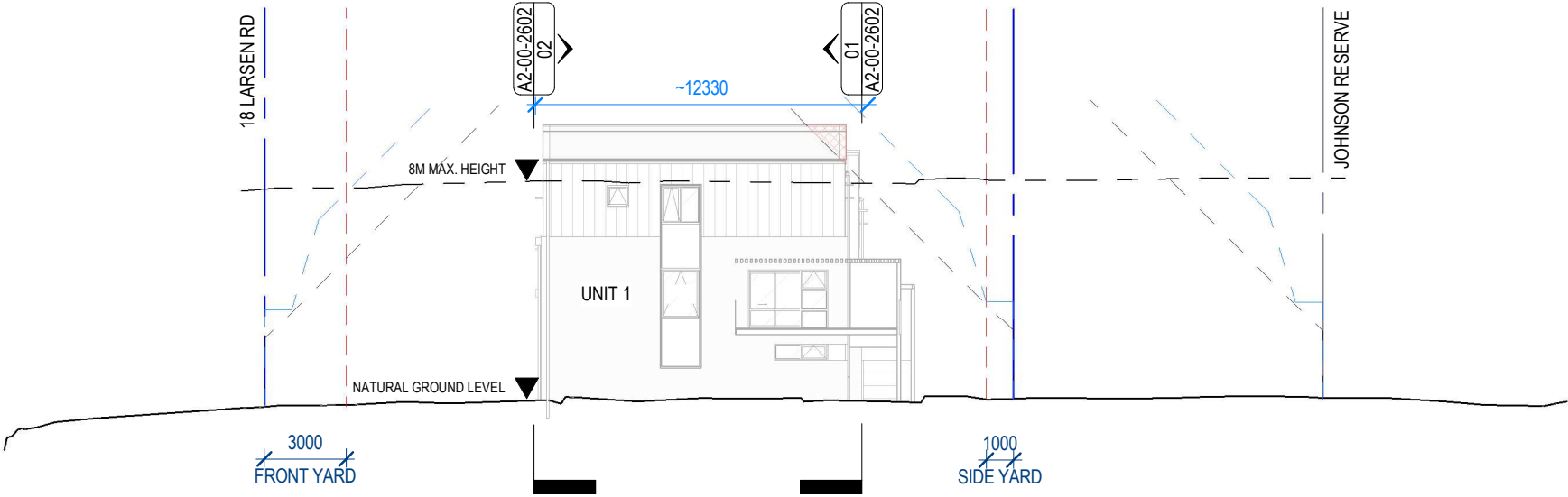
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SHEET NUMBER  
A2-00-2602

REVISION  
F



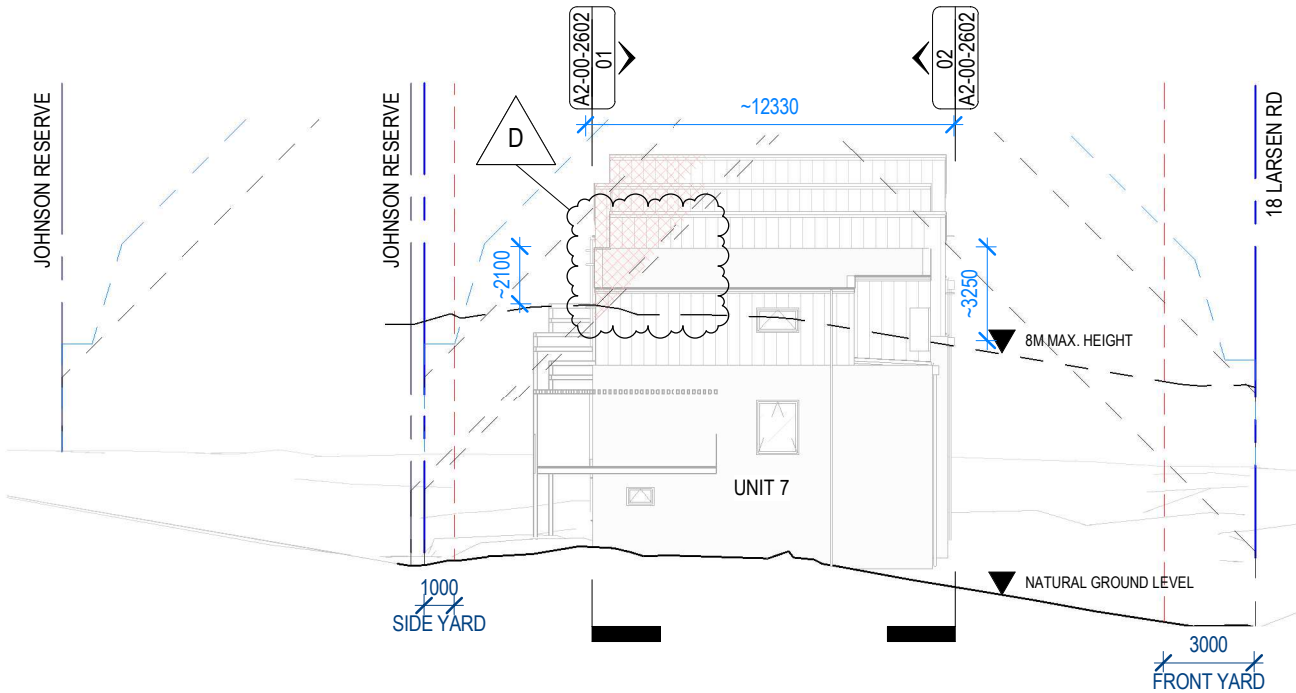
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01 / A2-00-2600



SCALE: 1 : 250  
01 / A2-00-2600

HIRB ELEVATION  
NORTH

02



SCALE: 1 : 250  
01 / A2-00-2600

HIRB ELEVATION  
SOUTH

01

KEY NOTES

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info@youngrichards.com www.youngrichards.com



CLIENT  
**TRC - LARSEN & TORINO PN91**

PROJECT ADDRESS  
**14-16 LARSEN RD, PANMURE,  
1072 AUCKLAND**

PROJECT NUMBER  
**240233-B**

KEY PLAN

SHEET NOTES

- SITE SURVEY INFORMATION AS PROVIDED BY ENVELOPE SURVEYING. (NOVEMBER 2024)
- SUBDIVISION AS PROVIDED BY HALL SURVEYING. (APRIL 2025)
- HIRB INFRINGEMENT PROJECTION SHOWN FOR REFERENCE ONLY. REFER TO HIRB DIAGRAMS FOR HIRB INFRINGEMENTS DIMENSIONS.

STAMP

LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- YARD SETBACK
- STANDARD MHSU 2.5M+45° HIRB INFRINGEMENT - NEW SITE AREA
- ALTERNATIVE HIRB INFRINGEMENT - NEW SITE AREA
- DIM HIRB INFRINGEMENT DIMENSION
- DIM MAX. HEIGHT INFRINGEMENT DIMENSION

THE FINE PRINT

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SHEET NAME  
**HIRB ELEVATIONS**

PROJECT STATUS  
**RESOURCE CONSENT**

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**1 : 250**

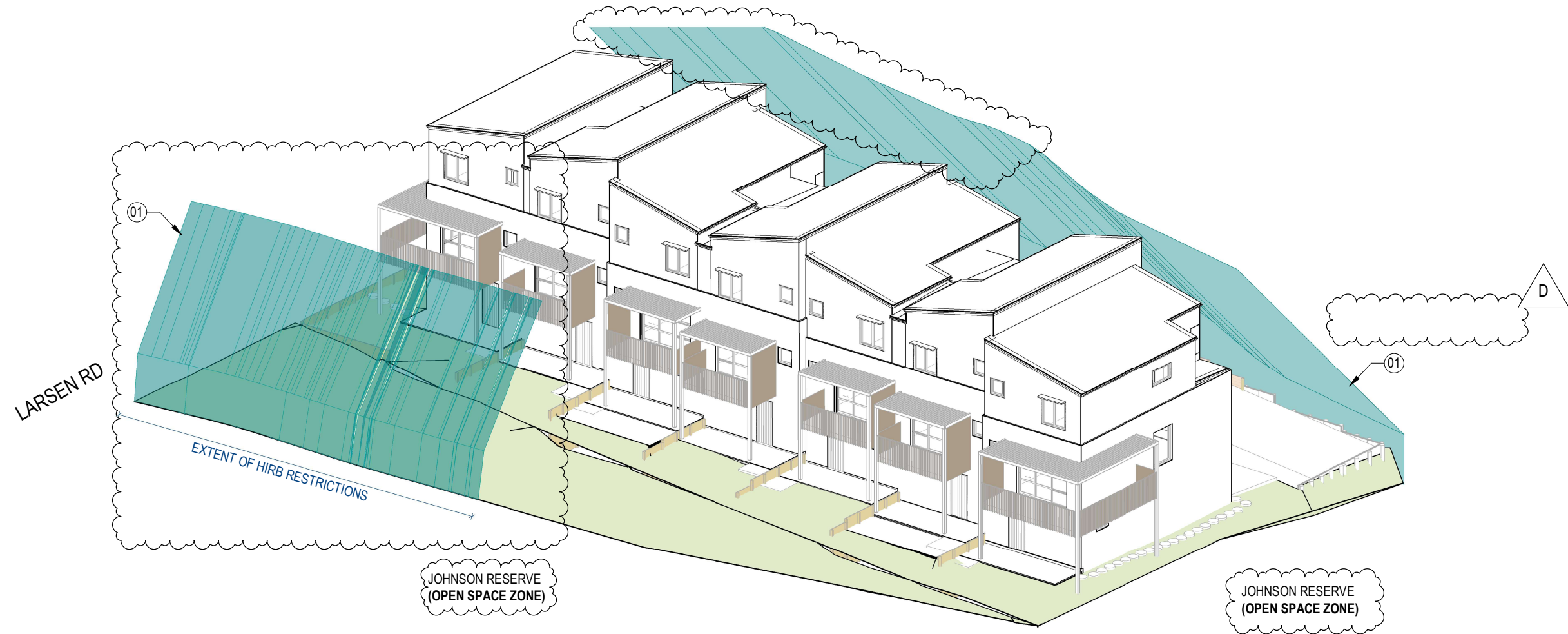
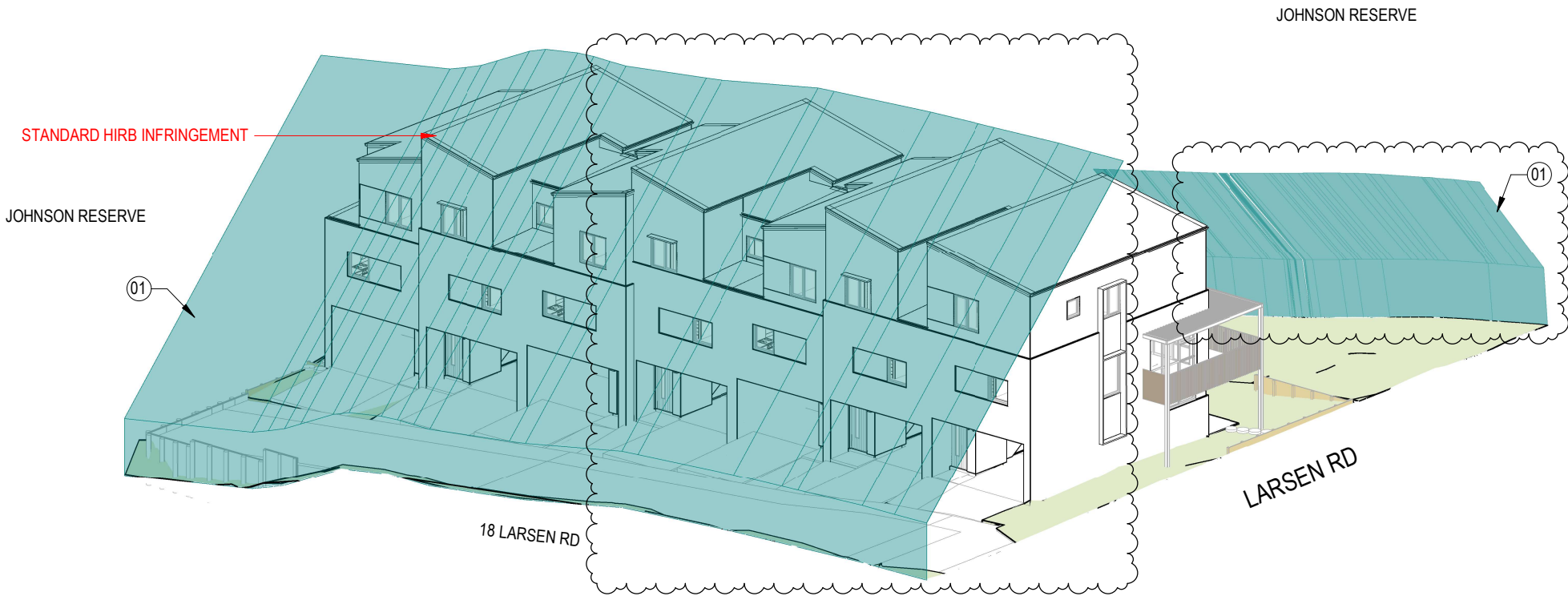
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**A3=100%**

PRINT IN COLOUR

SHEET NUMBER  
**A2-00-2603**

REVISION  
**D**





## KEY NOTES

- 01 STANDARD HIRB ENVELOPE 2.5m+45°
- 02 ALTERNATIVE HIRB ENVELOPE: 3.6m (VERTICAL), 1m (HORIZONTAL), 73.3° (UP TO 6.9m) AND 45°
- 03 8M MAX. HEIGHT

## SHEET NOTES

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## LEGEND

STANDARD MIXED HOUSING SUBURBAN  
HEIGHT IN RELATION TO BOUNDARY  
RECESSION PLANE

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**PROJECT NAME**  
**TRC - LARSEN & TORINO PN91**  
**PROJECT ADDRESS**  
**14-16 LARSEN RD, PANMURE,**  
**1072 AUCKLAND**

**PROJECT NUMBER**  
**240233-B**

KEY PLAN

STAMP

**THE FINE PRINT**

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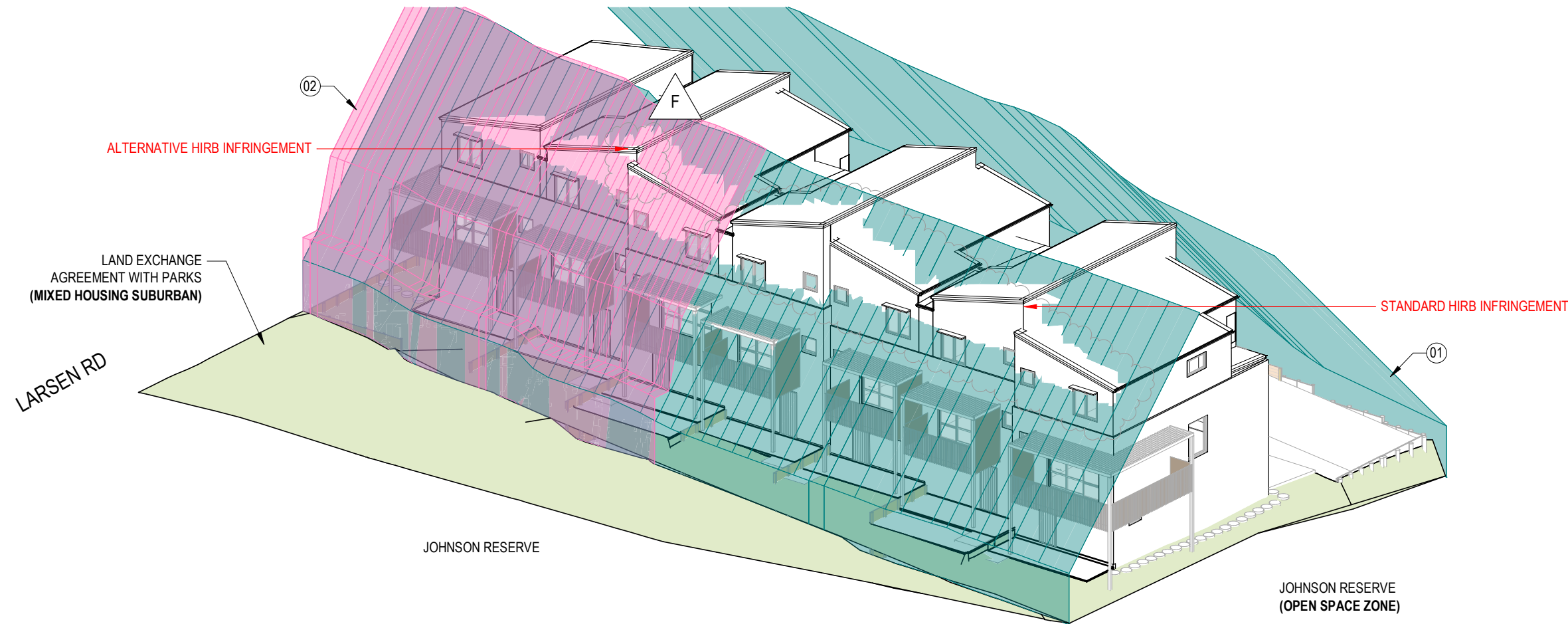
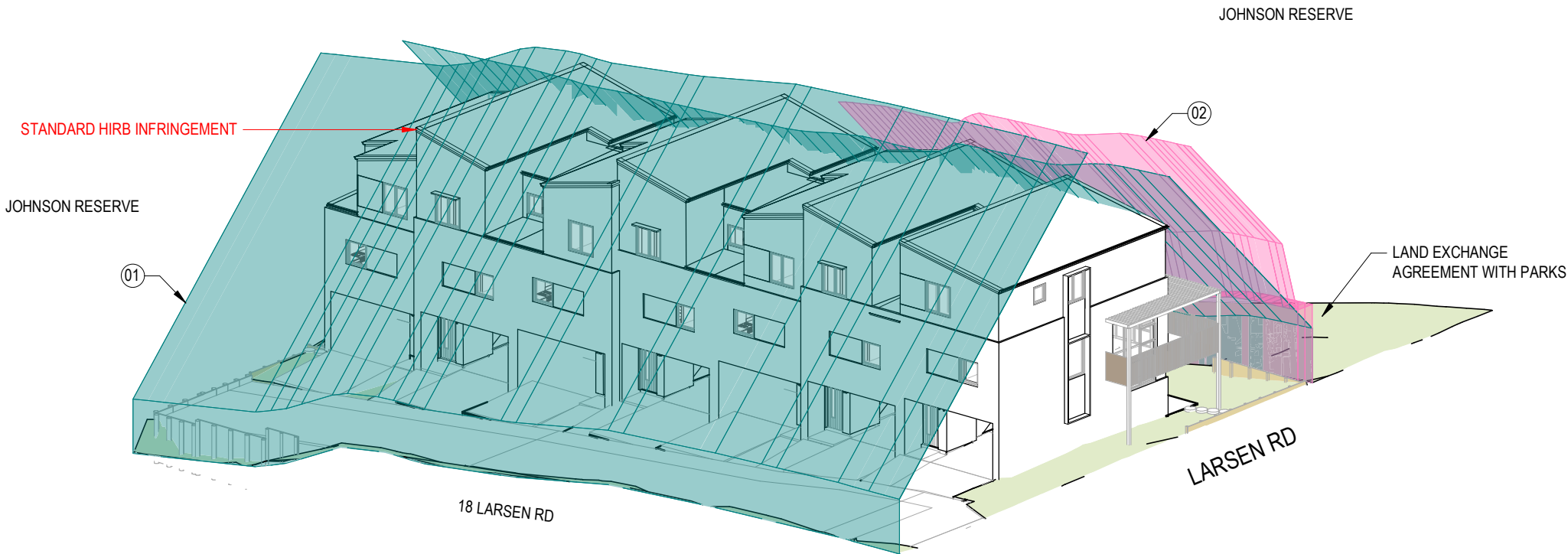
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**HIRB 3D DIAGRAMS - EXISTING SITE AREA**

**PROJECT STATUS**  
**RESOURCE CONSENT**

**SHEET SCALE** NONE **SHEET SIZE** A3=100% **PRINT IN COLOUR**

**SHEET NUMBER**  
**A2-00-2610** **REVISION** D





## KEY NOTES

- 01 STANDARD HIRB ENVELOPE 2.5m+45°
- 02 ALTERNATIVE HIRB ENVELOPE: 3.6m (VERTICAL), 1m (HORIZONTAL), 73.3° (UP TO 6.9m) AND 45°
- 03 8M MAX. HEIGHT

## SHEET NOTES

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## LEGEND

- STANDARD MIXED HOUSING SUBURBAN HEIGHT IN RELATION TO BOUNDARY RECESSION PLANE
- ALTERNATIVE MIXED HOUSING SUBURBAN HEIGHT IN RELATION TO BOUNDARY RECESSION PLANE

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**TRC - LARSEN & TORINO PN91**

PROJECT ADDRESS  
**14-16 LARSEN RD, PANMURE,  
1072 AUCKLAND**

PROJECT NUMBER  
**240233-B**

KEY PLAN

STAMP

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SHEET NAME  
**HIRB 3D DIAGRAMS - NEW SITE AREA**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**NONE**

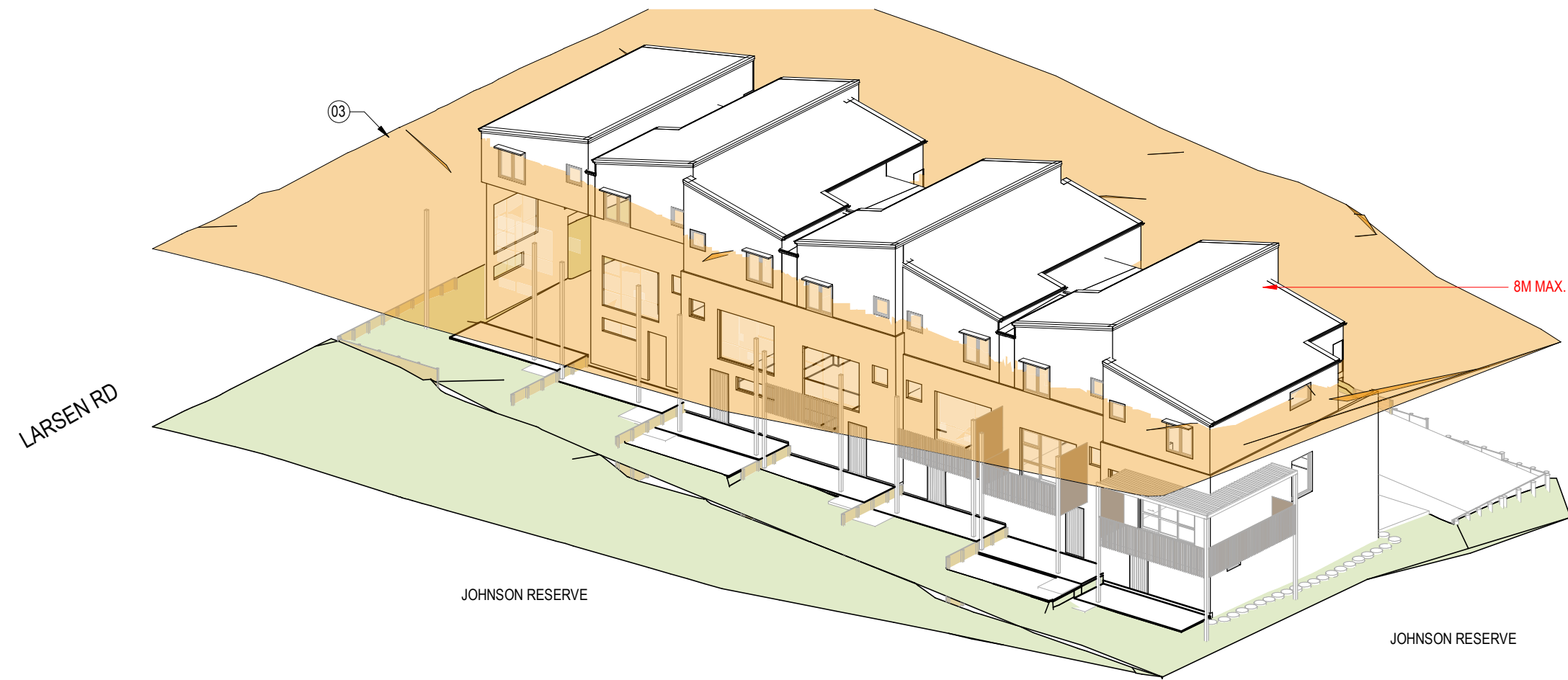
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**A3=100%**

PRINT IN COLOUR

SHEET NUMBER  
**A2-00-2611**

REVISION  
**F**





KEY NOTES

- 01 STANDARD HIRB ENVELOPE 2.5m+45°
- 02 ALTERNATIVE HIRB ENVELOPE: 3.6m (VERTICAL), 1m (HORIZONTAL), 73.3° (UP TO 6.9m) AND 45°
- 03 8M MAX. HEIGHT

SHEET NOTES

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LEGEND

- MIXED HOUSING SUBURBAN 8M MAXIMUM BUILDING HEIGHT

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**TAMAKI**  
PROJECT NAME  
**TRC - LARSEN & TORINO PN91**  
PROJECT ADDRESS  
**14-16 LARSEN RD, PANMURE,  
1072 AUCKLAND**

PROJECT NUMBER  
**240233-B**

KEY PLAN

STAMP

THE FINE PRINT  
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SHEET NAME  
**8M MAX. HEIGHT 3D DIAGRAMS**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**NONE**

SHEET SIZE  
**A3=100%**

PRINT IN COLOUR

SHEET NUMBER  
**A2-00-2612**

REVISION  
**F**



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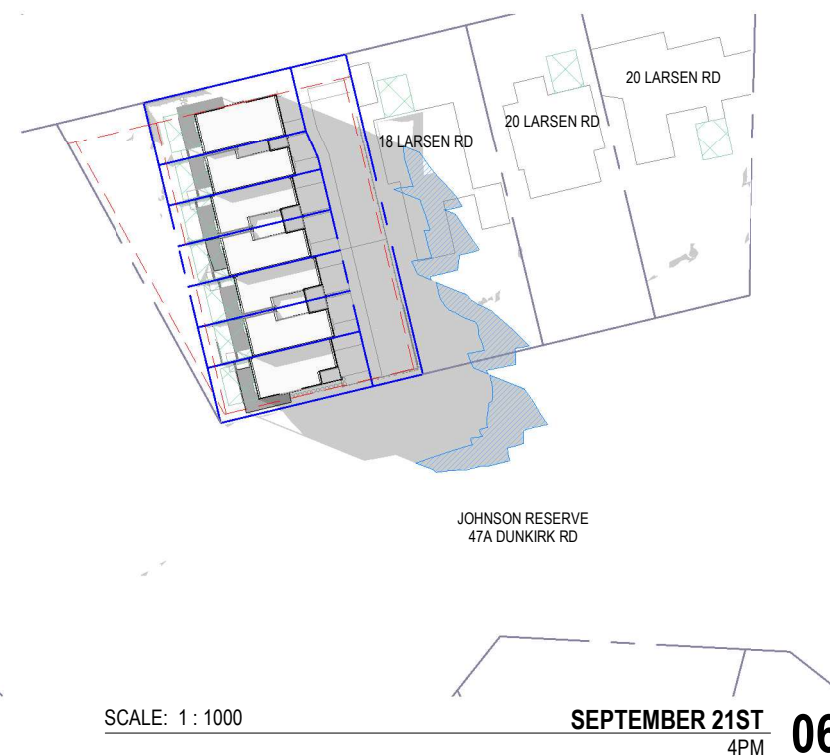
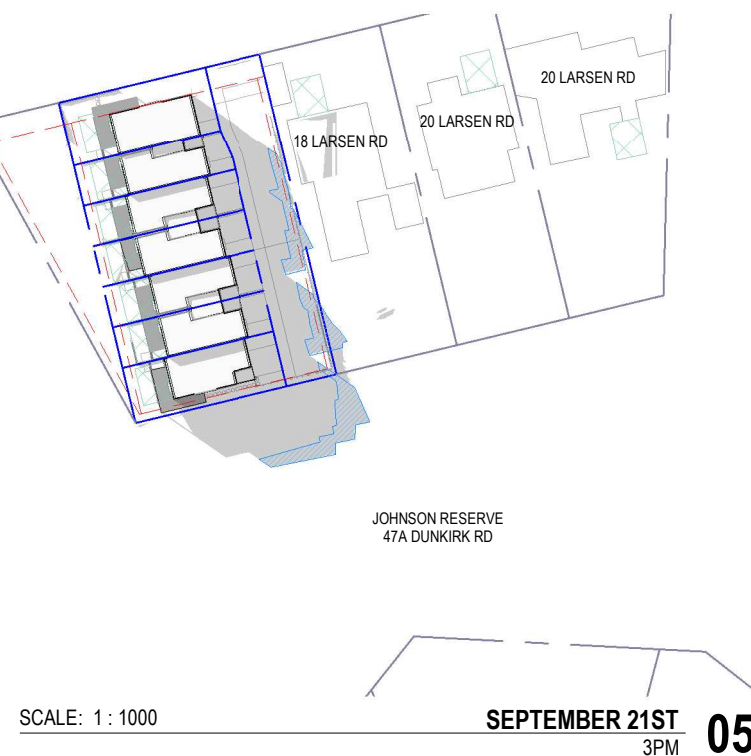
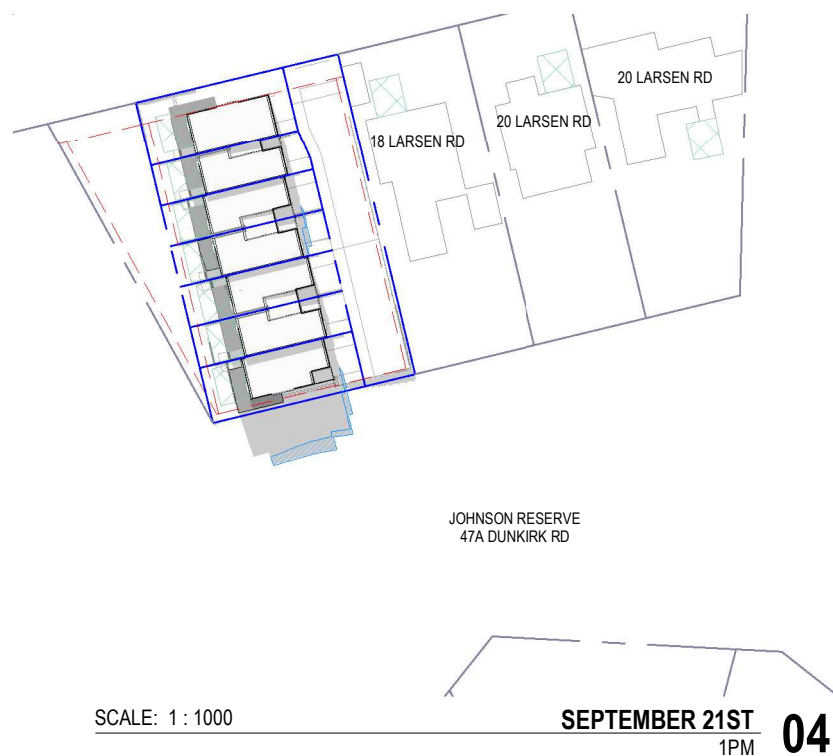
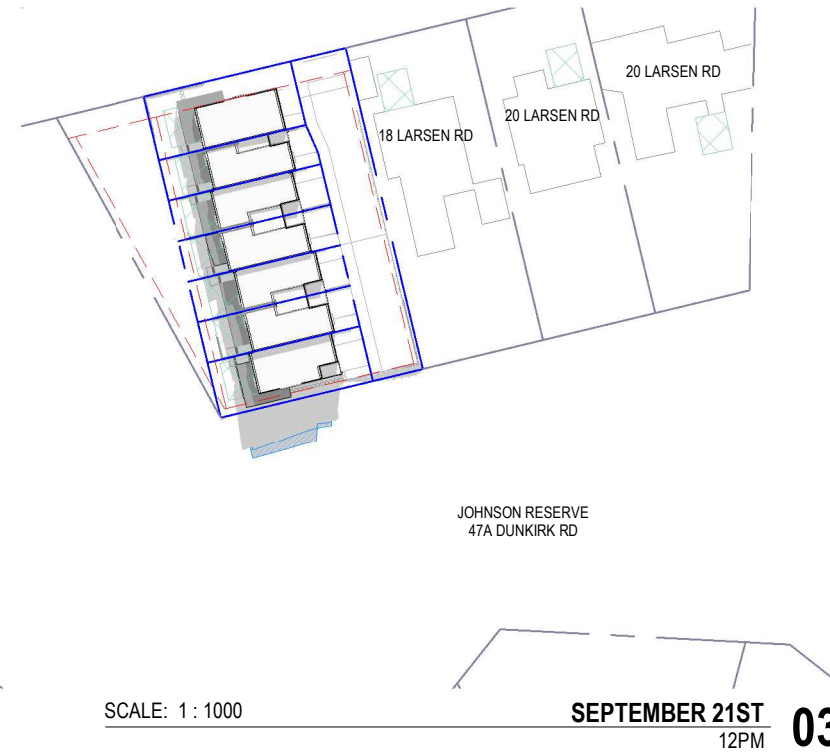
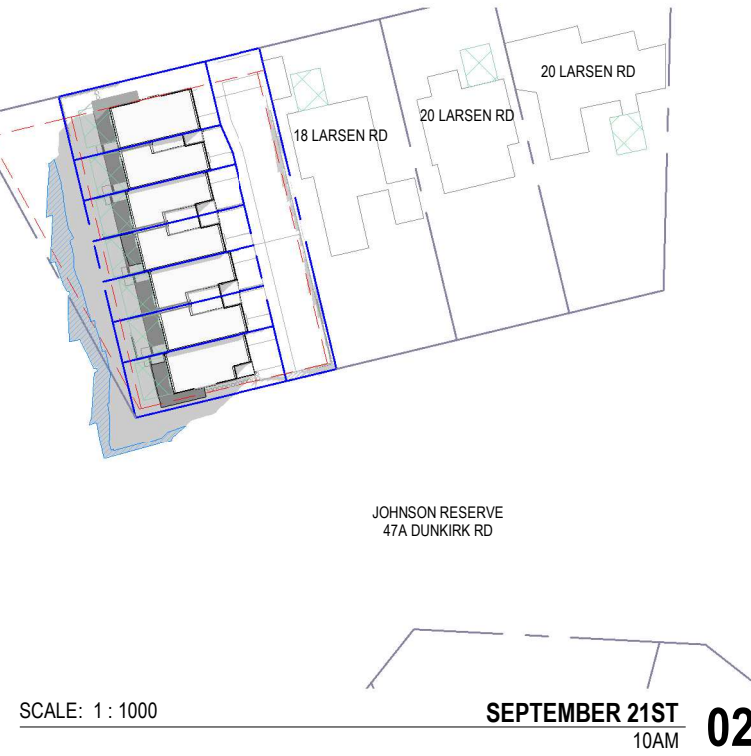
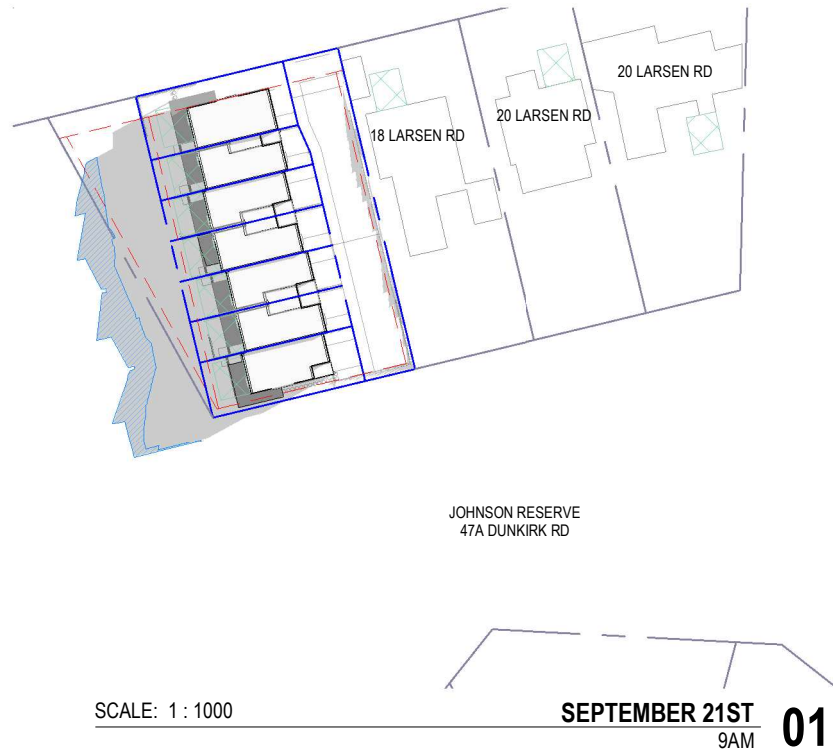


PROJECT NAME  
**TRC - LARSEN & TORINO PN91**

PROJECT ADDRESS  
**14-16 LARSEN RD, PANMURE,  
1072 AUCKLAND**

PROJECT NUMBER  
**240233-B**

KEY PLAN



STAMP

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## KEY NOTES

## SHEET NOTES

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- ADDITIONAL SHADING EXCEEDING HIRB CONTROL PLANE AND MAX HEIGHT ARE WITH RESPECT TO PROPOSED NEW BOUNDARY (POST LAND SWAP)

## LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- YARD SETBACK
- ADDITIONAL SHADING EXCEEDING STANDARD HIRB CONTROL PLANE AND 8M MAX. HEIGHT
- 20M<sup>2</sup> (5Mx4M) OUTDOOR LIVING AREA



SHEET NAME  
**SUN SHADING VISUALS - SPRING  
EQUINOX**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 1000**

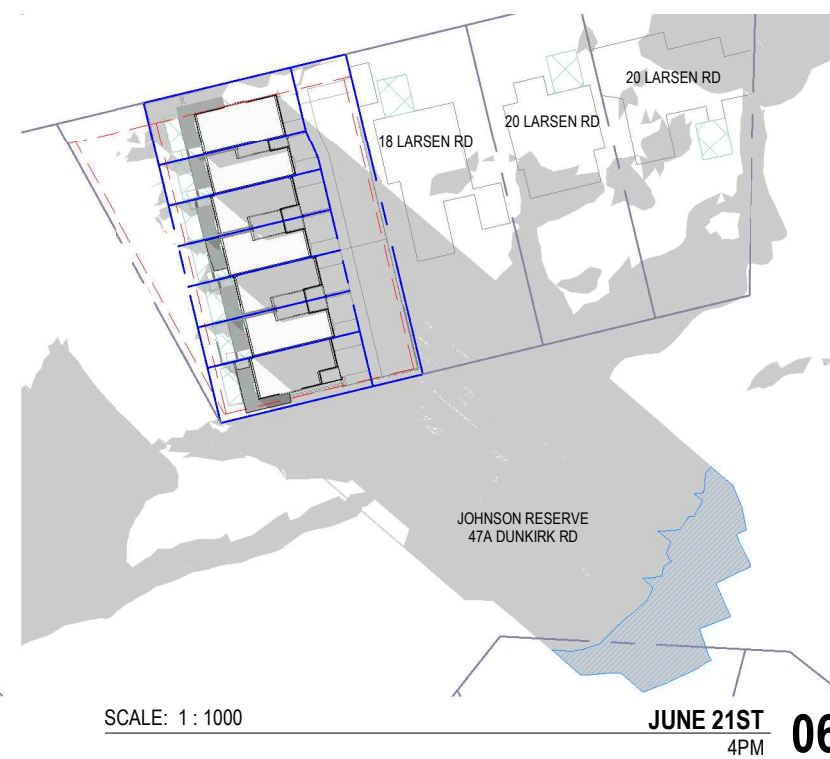
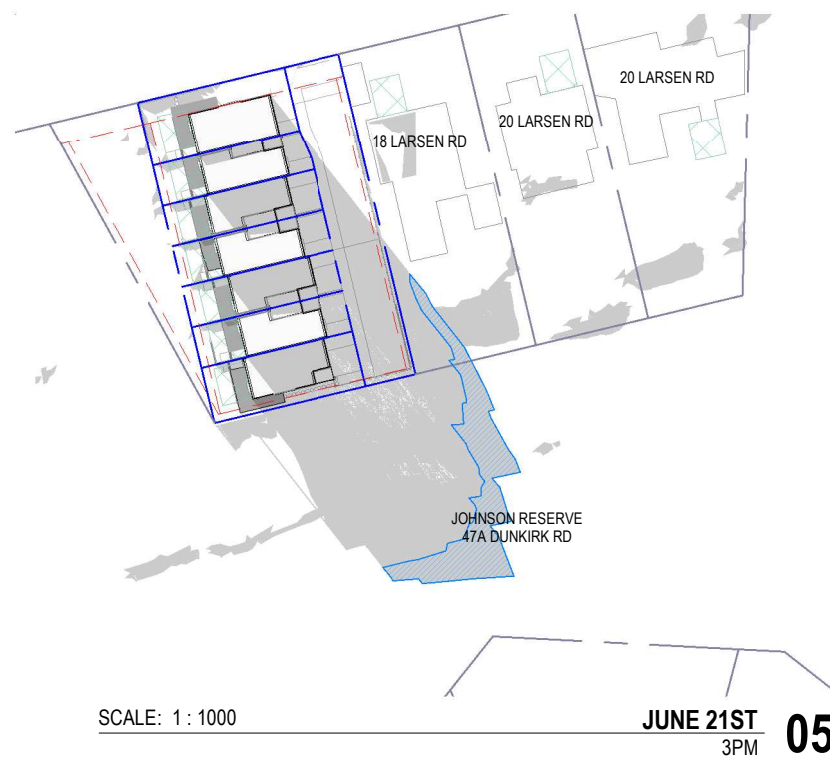
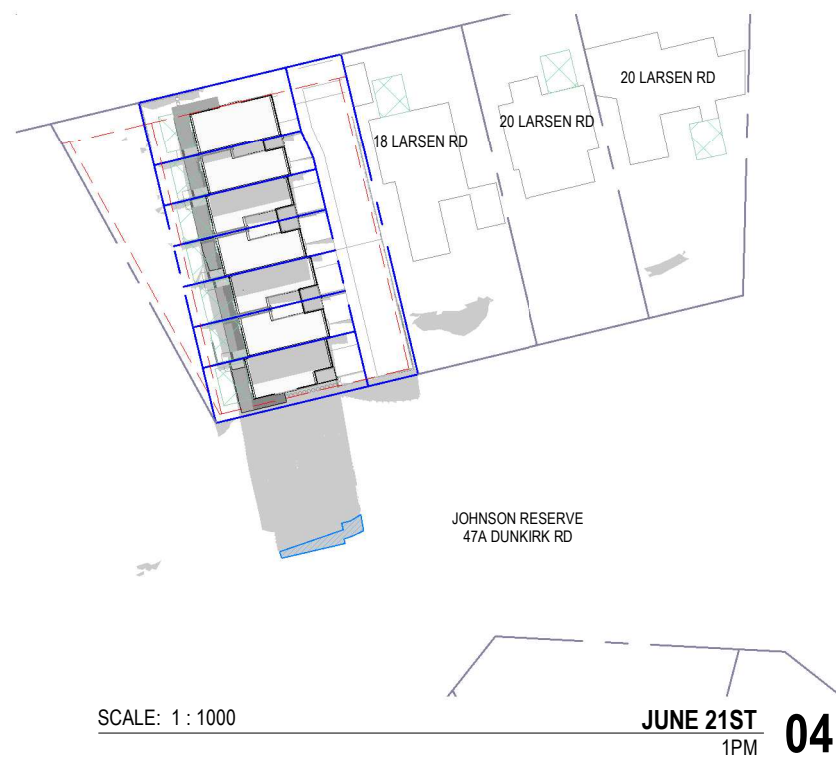
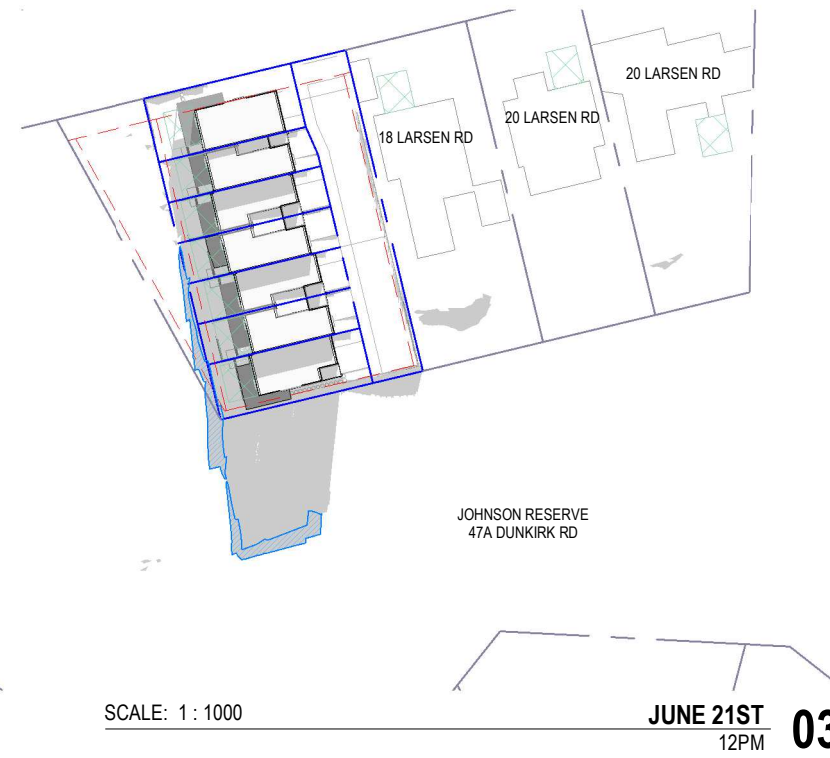
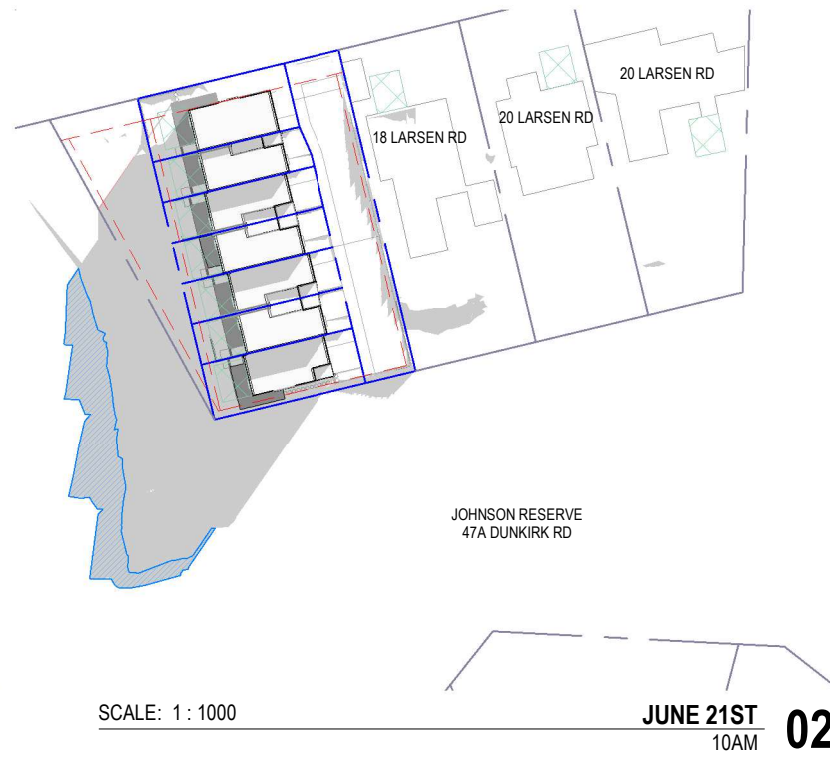
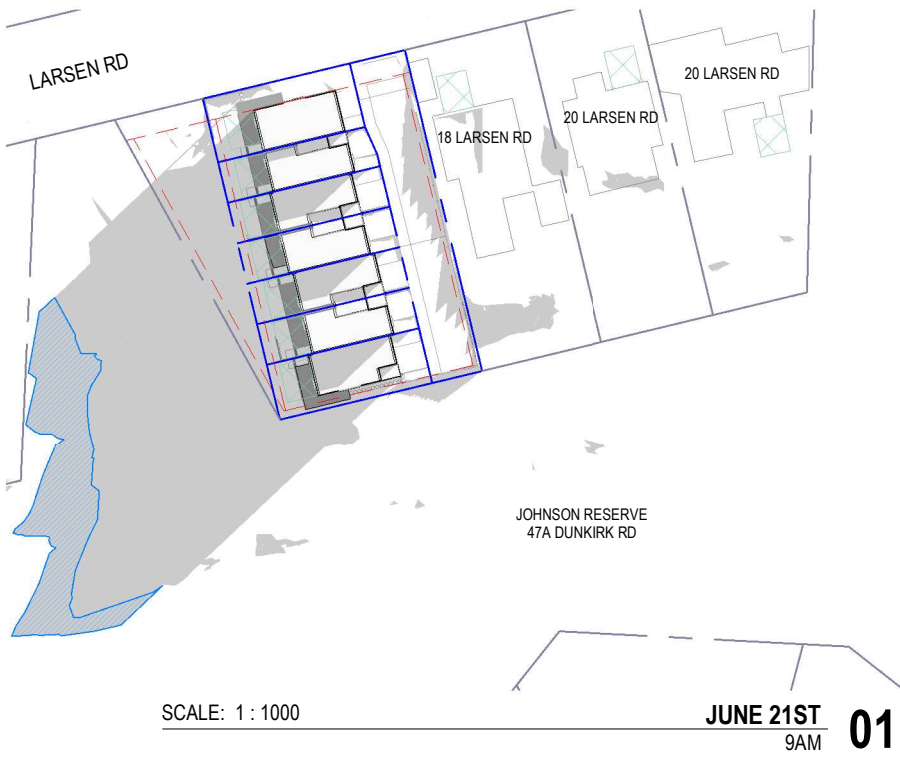
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**A3=100%**

PRINT IN COLOUR

SHEET NUMBER  
**A2-00-2700**

REVISION  
**B**





## KEY NOTES

## SHEET NOTES

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## LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- YARD SETBACK
- ADDITIONAL SHADING EXCEEDING STANDARD HIRB CONTROL PLANE AND 8M MAX. HEIGHT
- 20M<sup>2</sup> (5Mx4M) OUTDOOR LIVING AREA

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PROJECT NAME

TRC - LARSEN &amp; TORINO PN91

PROJECT ADDRESS

14-16 LARSEN RD, PANMURE,  
1072 AUCKLAND

PROJECT NUMBER

240233-B

KEY PLAN

STAMP

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SHEET NAME

SUN SHADING VISUALS - WINTER  
SOLSTICE

PROJECT STATUS

RESOURCE CONSENT

SHEET SCALE

1 : 1000

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A2-00-2701

REVISION

B



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1072 AUCKLAND**

PROJECT NUMBER  
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  - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.
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SHEET NAME  
**GROUND CONTEXT FLOOR PLAN**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 150**

SHEET SIZE  
**A3=100%**

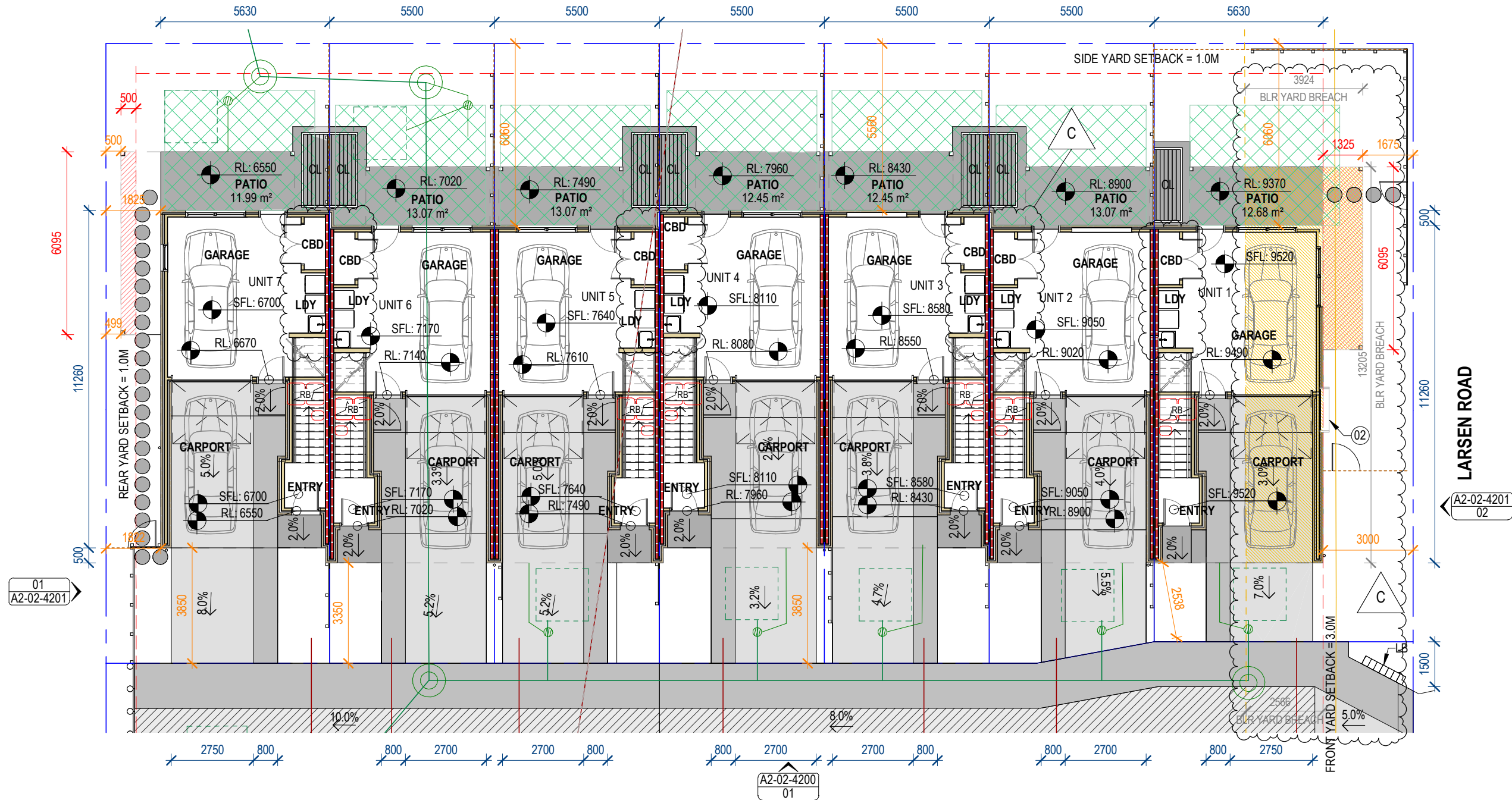
PRINT IN COLOUR

SHEET NUMBER  
**A2-01-2300**

REVISION  
**C**

JOHNSON RESERVE

02  
A2-02-4200



SCALE: 1 : 150

PROPOSED GROUND CONTEXT FLOOR PLAN

01

## KEY NOTES

- 01 LETTERBOX BANK  
02 WINDOW SHROUD OVER FRONT YARD SETBACK

## ABBREVIATIONS

CL	CLOTHESLINE
LB	LETTERBOX
RB	RUBBISH BINS
RW	RETAINING WALL - REFER CIVIL DRAWINGS

## SHEET NOTES

- SITE SURVEY INFORMATION AS PROVIDED BY ENVELOPE (NOVEMBER 2024)
- EXISTING WW LINE LOCATION AS PROVIDED BY HALL SURVEYING (MARCH 2025)
- SUBDIVISION AS PROVIDED BY HALL SURVEYING (APRIL 2025)
- LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES (APRIL 2025)
- REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.
- LEVELS AND GRADIENTS SHOWN FOR REFERENCE. DRAWINGS TO BE READ IN CONJUNCTION WITH CIVIL ENGINEERING DOCUMENTATION.
- CONDITIONS OF BUILDING LINE RESTRICTIONS AS PER DOCUMENT K39028 - BLR. REFERENCE ROAD MIDDLE-LINE AS PER SITE SURVEY PROVIDED BY ENVELOPE (NOVEMBER 2024)

## LEGEND

	DIM	DIMENSION FROM BOUNDARY TO FACE OF CLADDING		20M <sup>2</sup> (5Mx4M) OUTDOOR LIVING AREA		PROPOSED STORMWATER LINE
	PROPERTY BOUNDARY			OUTLOOK SPACE		PROPOSED WASTEWATER LINE
	YARD SETBACK			EXISTING PUBLIC WASTEWATER		PROPOSED FENCE - REFER TO LANDSCAPE DESIGN
	BUILDING LINE RESTRICTION			PROPOSED PAVED AREAS - REFER TO LANDSCAPE DESIGN		
	BLR FRONT YARD			PERMEABLE PAVING		
	YARD SETBACK INFRINGEMENT			OUTLINE OF ROOF ABOVE		
	BUILDING LINE RESTRICTION YARD INFRINGEMENT					
	OUTLINE OF BUILDING ABOVE					





CLIENT  
PROJECT NAME  
**TRC - LARSEN & TORINO PN91**  
PROJECT ADDRESS  
**14-16 LARSEN RD, PANMURE,  
1072 AUCKLAND**

PROJECT NUMBER  
**240233-B**

KEY PLAN

STAMP

THE FINE PRINT

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SHEET NAME  
**FIRST FLOOR PLAN**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 150**

SHEET NUMBER  
**A2-01-2301**

SHEET SIZE  
**A3=100%**

PRINT IN COLOUR

REVISION  
**C**

SCALE: 1 : 150

KEY NOTES

- 01 PRINCIPAL LIVING ROOM OUTLOOK 6M x 4M
- 02 WINDOW SHROUD OVER FRONT YARD SETBACK

SHEET NOTES

- SITE SURVEY INFORMATION AS PROVIDED BY ENVELOPE SURVEYING. (NOVEMBER 2024)
- SUBDIVISION AS PROVIDED BY HALL SURVEYING. (APRIL 2025)
- CONDITIONS OF BUILDING LINE RESTRICTIONS AS PER DOCUMENT K39028 - BLR. REFERENCE ROAD MIDDLE-LINE AS PER SITE SURVEY PROVIDED BY ENVELOPE (NOVEMBER 2024)

LEGEND

- DIM DIMENSION FROM BOUNDARY TO FACE OF CLADDING
- PROPERTY BOUNDARY
- YARD SETBACK
- BUILDING LINE RESTRICTION
- BLR FRONT YARD
- BUILDING LINE RESTRICTION YARD INFRINGEMENT
- YARD SETBACK INFRINGEMENT
- OUTLOOK SPACE
- OUTLOOK INFRINGEMENT
- OUTLINE OF ROOF ABOVE
- OUTLINE OF BUILDING BELOW



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PROJECT NUMBER  
**240233-B**

KEY PLAN

STAMP

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SHEET NAME  
**SECOND FLOOR PLAN**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 150**

SHEET SIZE  
**A3=100%**

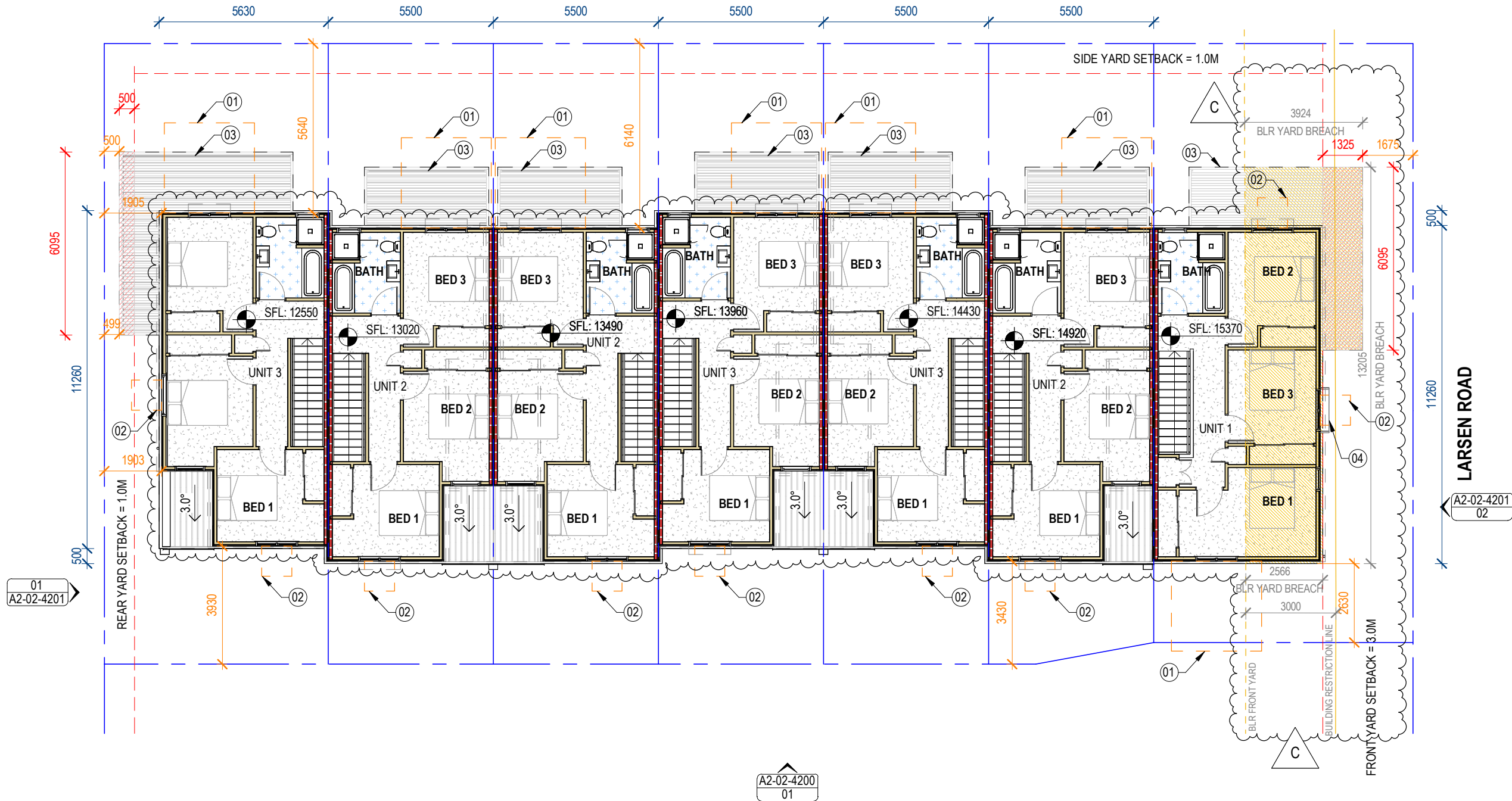
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SHEET NUMBER  
**A2-01-2302**

REVISION  
**C**

JOHNSON RESERVE

02  
A2-02-4200



SCALE: 1 : 150

PROPOSED SECOND FLOOR PLAN

01

## KEY NOTES

- 01 PRINCIPAL BEDROOM OUTLOOK 3Mx3M
- 02 OTHER HABITABLE ROOMS OUTLOOK
- 03 ALUMINIUM PERGOLA BELOW
- 04 WINDOW SHROUD OVER FRONT YARD SETBACK

## SHEET NOTES

- SITE SURVEY INFORMATION AS PROVIDED BY ENVELOPE SURVEYING. (NOVEMBER 2024)
- SUBDIVISION AS PROVIDED BY HALL SURVEYING. (APRIL 2025)
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## LEGEND

- DIM DIMENSION FROM BOUNDARY TO FACE OF CLADDING
- PROPERTY BOUNDARY
- YARD SETBACK
- BUILDING LINE RESTRICTION
- BLR FRONT YARD
- BUILDING LINE RESTRICTION YARD INFRINGEMENT
- YARD SETBACK INFRINGEMENT
- OUTLOOK SPACE
- OUTLINE OF BUILDING/ROOF ABOVE
- OUTLINE OF BUILDING/ROOF BELOW
- PROFILED METAL ROOFING



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SHEET NAME  
**ROOF PLAN**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 150**

SHEET SIZE  
**A3=100%**

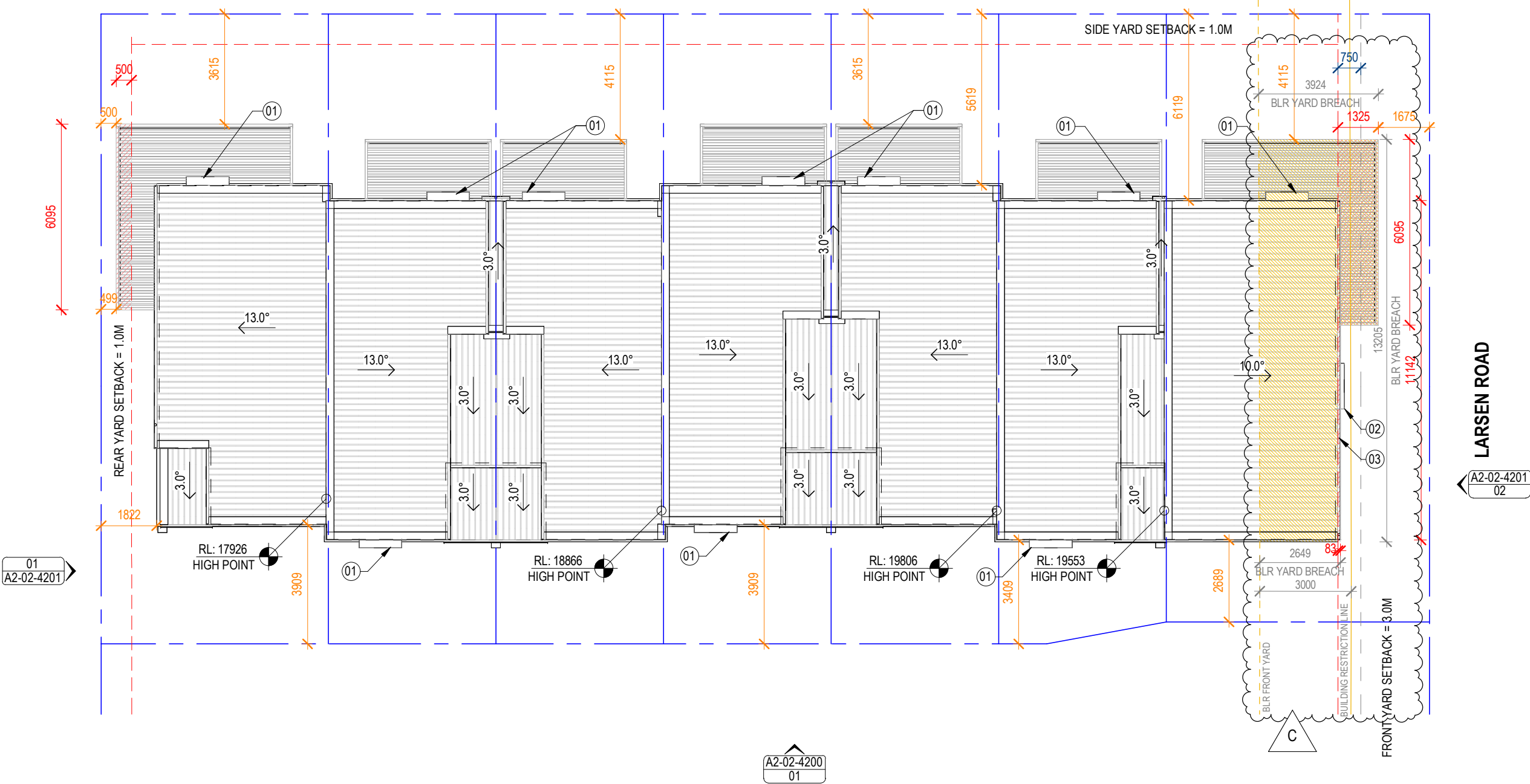
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SHEET NUMBER  
**A2-01-2303**

REVISION  
**C**

JOHNSON RESERVE

02  
A2-02-4200



SCALE: 1 : 150

PROPOSED ROOF PLAN  
**01**

- KEY NOTES
- 01 ALUMINIUM WINDOW EYEBROW
  - 02 WINDOW SHROUD OVER FRONT YARD SETBACK
  - 03 ROOF WITHIN THE FRONT YARD SETBACK

- SHEET NOTES
- SITE SURVEY INFORMATION AS PROVIDED BY ENVELOPE SURVEYING. (NOVEMBER 2024)
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  - CONDITIONS OF BUILDING LINE RESTRICTIONS AS PER DOCUMENT K39028 - BLR. REFERENCE ROAD MIDDLE-LINE AS PER SITE SURVEY PROVIDED BY ENVELOPE (NOVEMBER 2024)

- LEGEND
- DIM DIMENSION FROM BOUNDARY TO FASCIA / GUTTER / CANOPY
  - PROPERTY BOUNDARY
  - YARD SETBACK
  - YARD SETBACK INFRINGEMENT
  - OUTLINE OF BUILDING/ROOF BELOW

- BUILDING LINE RESTRICTION
- BLR FRONT YARD
- BUILDING LINE RESTRICTION YARD INFRINGEMENT





SCALE: 1 : 150  
01 / A2-01-2300



SCALE: 1 : 150  
01 / A2-01-2300

## KEY NOTES

- |    |                                   |    |                                       |
|----|-----------------------------------|----|---------------------------------------|
| 01 | SELECTED PROFILE METAL ROOFING    | 11 | WINDOW SHROUD OVER FRONT YARD SETBACK |
| 02 | VERTICAL CLADDING                 |    |                                       |
| 03 | BRICK VENEER CLADDING             |    |                                       |
| 04 | SHEET CLADDING                    |    |                                       |
| 05 | ALUMINIUM WINDOW EYEBROW          |    |                                       |
| 06 | ALUMINIUM LOUVERED PERGOLA        |    |                                       |
| 07 | ALUMINIUM BALUSTRADE, 1100mm HIGH |    |                                       |
| 08 | TIMBER RETAINING WALL             |    |                                       |
| 09 | SECTIONAL GARAGE DOOR             |    |                                       |
| 10 | ROOF WITHIN THE YARD SETBACKS     |    |                                       |

## SHEET NOTES

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- LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES. (APRIL 2025)
- FENCES AND BALUSTRADES OMITTED FOR CLARITY. REFER LANDSCAPE DRAWINGS.
- REFER TO FLOOR PLANS FOR ALL BUILDING SFLS.

## LEGEND



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CLIENT  
**TRC - LARSEN & TORINO PN91**

PROJECT ADDRESS  
**14-16 LARSEN RD, PANMURE,  
1072 AUCKLAND**

PROJECT NUMBER  
**240233-B**

KEY PLAN

STAMP

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SHEET NAME  
**ELEVATIONS**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 150**

SHEET SIZE  
**A3=100%**

PRINT IN COLOUR

SHEET NUMBER  
**A2-02-4200**

REVISION  
**C**





SCALE: 1 : 150  
01 / A2-01-2300

NORTH ELEVATION 02



SCALE: 1 : 150  
01 / A2-01-2300

SOUTH ELEVATION 01

KEY NOTES

- 01 SELECTED PROFILE METAL ROOFING
- 02 VERTICAL CLADDING
- 03 BRICK VENEER CLADDING
- 04 SHEET CLADDING
- 05 ALUMINIUM WINDOW EYEBROW
- 06 ALUMINIUM LOUVERED PERGOLA
- 07 ALUMINIUM BALUSTRADE, 1100mm HIGH
- 08 TIMBER RETAINING WALL
- 09 WINDOW SHROUD OVER FRONT YARD SETBACK
- 10 ROOF WITHIN THE YARD SETBACKS

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LEGEND



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CLIENT  
PROJECT NAME  
**TRC - LARSEN & TORINO PN91**

PROJECT ADDRESS  
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1072 AUCKLAND**

PROJECT NUMBER  
**240233-B**

KEY PLAN

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SHEET NAME  
**ELEVATIONS**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 150**

SHEET SIZE  
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SHEET NUMBER  
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SHEET NAME  
**SITE SECTION**

PROJECT STATUS  
**RESOURCE CONSENT**

SHEET SCALE  
**1 : 200**

SHEET SIZE  
**A3=100%**

PRINT IN COLOUR

SHEET NUMBER  
**SK-02-4203**

REVISION





Resource Consent Landscape Package for

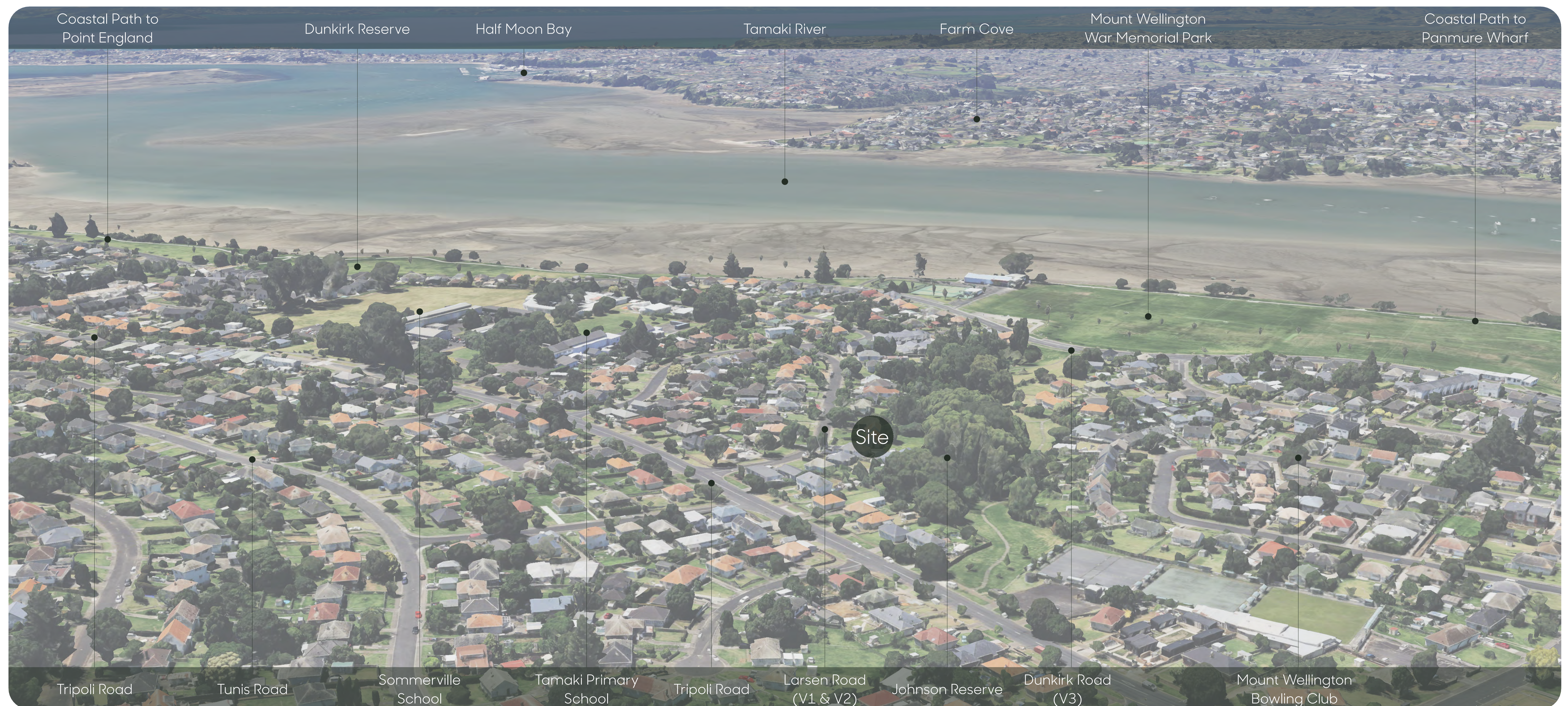
Dominion Constructors Ltd

PN-91, 14-16 Larsen Rd, Pamure,  
Auckland

Drawing Number:	Drawing Description:	Drawing Issue Date:	Revision A Issue Date:	Revision B Issue Date:	Revision C Issue Date:
2307/01	- Site Context & Local Character	28/04/25	-	-	-
2307/02	- General Arrangement Landscape Plan	28/04/25	4/07/25	-	19/11/25
2307/03	- Planting Plan	28/04/25	4/07/25	-	-
2307/04	- Planting Details	28/04/25	-	-	-
2307/05	- Hardscape Plan	28/04/25	-	-	-
2307/06	- Fencing Plan	28/04/25	4/07/25	-	-
2307/07	- Fencing Details	28/04/25	4/07/25	-	-
2307/08	- Fencing Details 2	28/04/25	4/07/25	-	-
2307/09	- Indicative Lighting Plan	28/04/25	-	12/08/25	-
2307/10	- Landscape Sections 01	28/04/25	4/07/25	12/08/25	-
2307/11	- Landscape Sections 02	-	-	12/08/25	-

greenwoodassociates.co.nz





V1: The existing site frontage to Larsen Road looking south west. The existing Titoki street tree in the centre of the image is to be protected and retained.



V2: The existing site frontage to Larsen Road looking south east. A portion of the 14 Larsen Road site is to be swapped with Auckland Council Parks as part of a wider deal with TRC.



V3: The view across Johnson Reserve looking north west towards the site from the Dunkirk Road entrance.

Client



Project

PN-91, 14-16 Larsen Rd, Pamure, Auckland

Drawing

2307/01 Site Context & Local Character

Issue Date

28/04/2025

Issue

RC

Drawn

TX

Checked

MB







- Existing street tree to remain
- Titoki specimen trees
- Manatu specimen trees
- Ti kouka specimen trees
- Citrus fruit trees
- Ficus tuffi hedge
- Low hardy path edge planting mix
- Creeper and volume planting mix
- Lush frontage planting mix
- Standard concrete
- Exposed aggregate concrete
- Oxide concrete path
- Permeable concrete driveway
- Separated concrete steppers
- Raised vegetable garden
- Lawn
- Fencing lower than 1.4m
- Fencing higher than 1.4m
- Gates





Code	Idendification	Common Name	Grade	Spacing
Trees				
AE*	<i>Alectryon excelsus</i>	titoki	45L	Marked
TI	<i>Cordyline australis</i>	ti kouka	45L	Marked
CA	<i>Citrus × aurantifolia</i>	key lime	25L	Marked
CL	<i>Citrus × limon</i>	lemon	25L	Marked
CB	<i>Corokia 'Bronze King'</i>	bronze corokia	10L	Marked
FT	<i>Ficus 'Tuffi'</i>	figus tuffi	10L	800mm
PR	<i>Plagianthus regius</i>	manatu	45L	Marked
LH	Low hardy planting mix			
50%	<i>Muehlenbeckia axillaris</i>	pohuehue	1L	400mm
50%	<i>Lobelia angulata</i>	panakenake	1L	400mm
CV	Volume planting mix			
50%	<i>Coprosma 'Hawera'</i>	coprosma hawera	1L	600mm
50%	<i>Dietes grandiflora</i>	wild iris	1L	600mm
LU	Lush planting mix			
50%	<i>Arthoropodium cirratum</i>	rengarenga	1L	600mm
50%	<i>Carex testacea</i>	orange carex	1L	600mm
Existing Street Trees				
EST	Existing street tree to be protected and retained			Marked
Notes:	*Trees to be crown lifted to maintain visibility			



Alectryon excelsus  
Titoki - crown lifting maintains visibility across the site below the canopy



Cordyline australis  
Ti kouka - columnar growth habit allows vertical softening in narrower garden beds



Muehlenbeckia axilaris  
Pohuehue



Lobelia angulata  
Panakenake



Corokia 'Bronze King'  
Bronze corokia - Provide screening of proposed retaining walls to the neighbouring property



Ficus 'Tuffi'  
Ficus tuffi - Provides screening of service yards to park and street



Coprosma 'Hawera'  
Coprosma hawera



Dietes grandiflora  
Wild iris



Citrus aurantifolia/limon  
Lemon and lime trees



Plagianthus regius  
Manatu - Provides vertical softening to break up the western elevation to the park



Arthoropodium cirratum  
Rengarenga

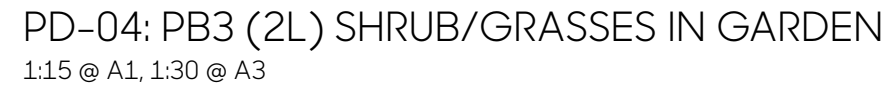
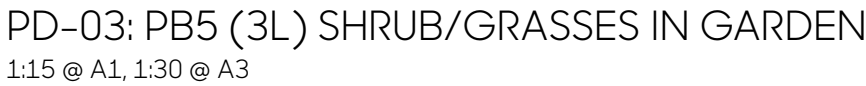
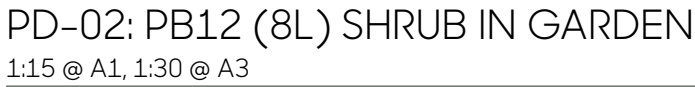
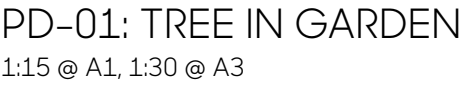


Carex testacea  
Orange carex

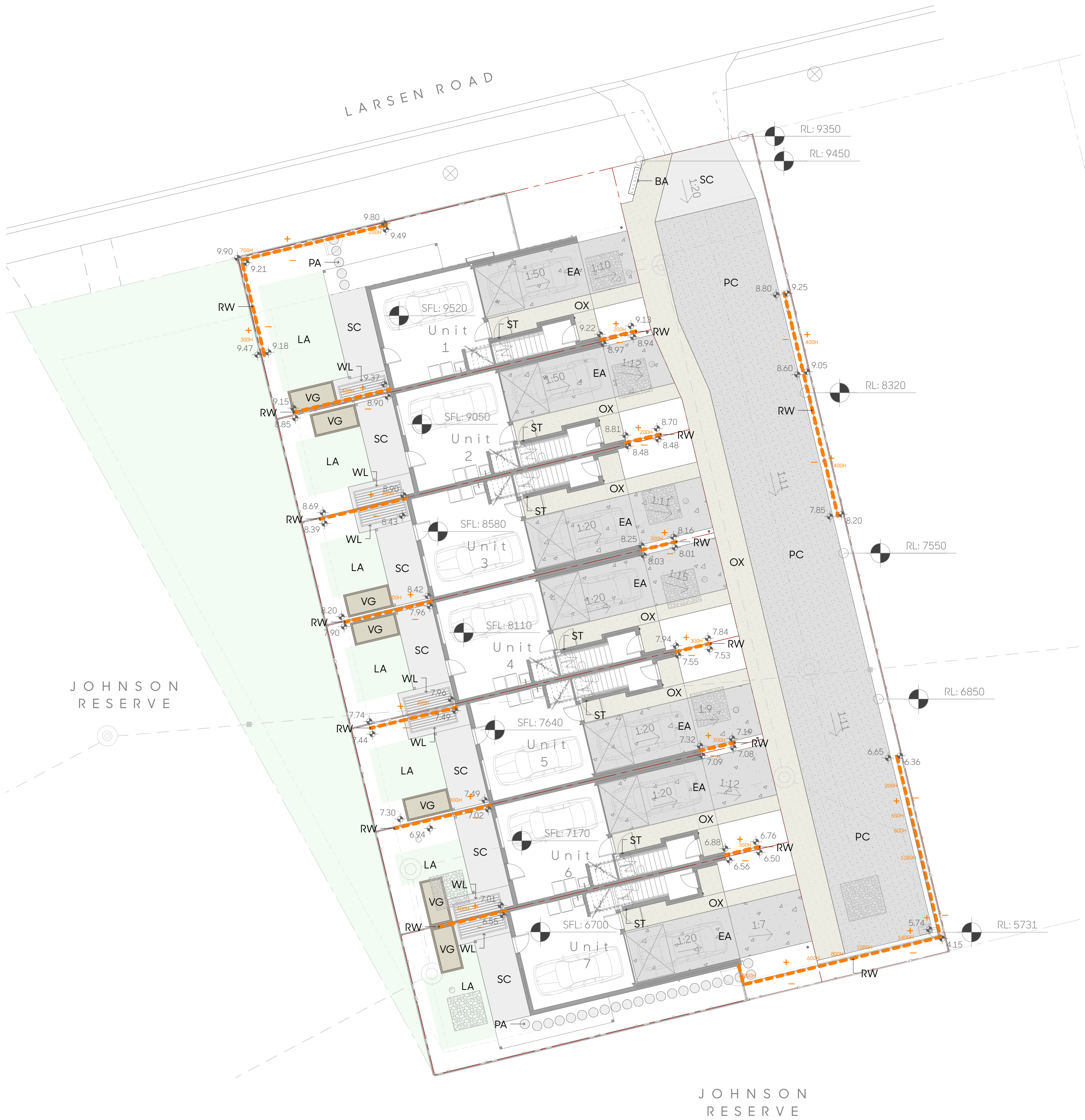


Existing Titoki street tree  
To be protected and retained





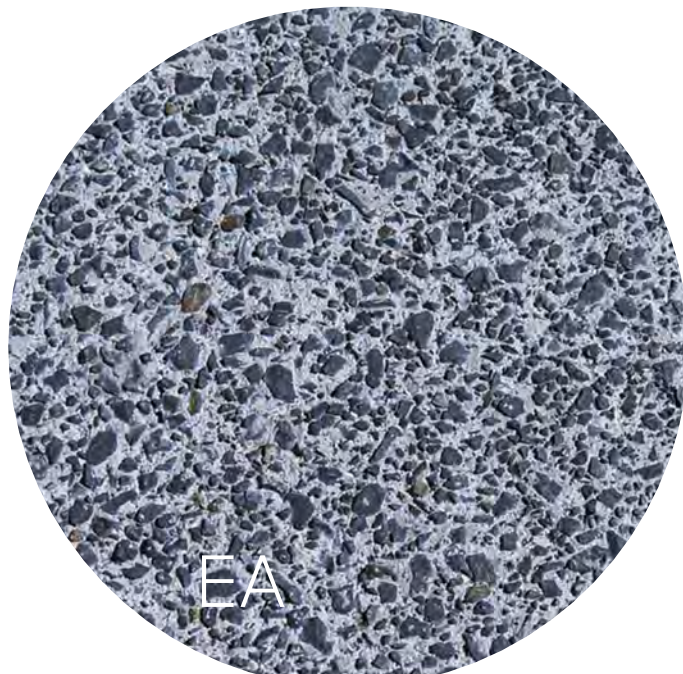




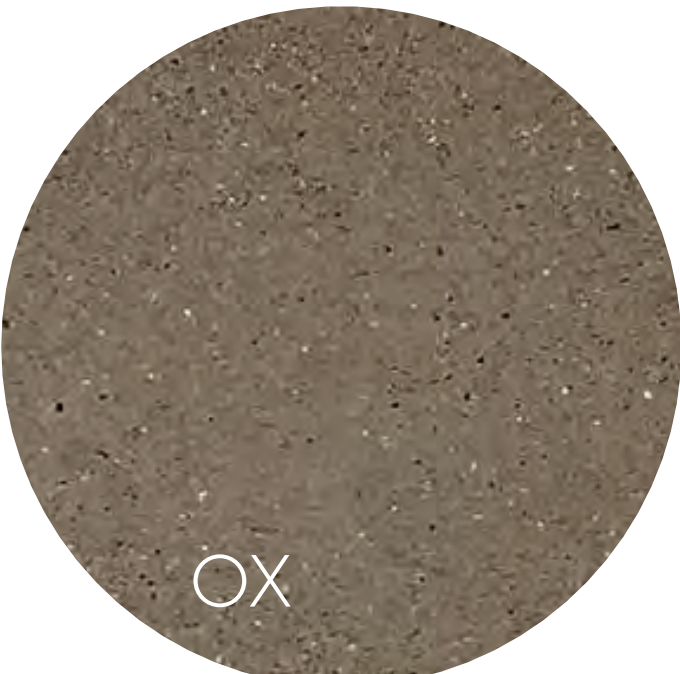
Code	Name	Specification
Hardscape Surfaces		
SC	Standard concrete	Standard aggregate, broom finish, no oxide
OX	Standard concrete black oxide	Standard aggregate, broom finish, 4kg black oxide per m3
EA	Exposed aggregate concrete	Standard aggregate, exposed finish, 4kg black oxide per m3
PC	Permeable concrete	Permcon NZ permeable concrete, Charcoal colour
PA	Round concrete stepper	500mm dia round honed concrete pavers, 30mm thick, 600mm ctrs
LA	Lawn	Tui LawnForce Superstrike Shady Places Seed, sow 25g/m²
Hardscape Elements		
BA	Letterbox bank	x7 Box Design Masonry Insert Letterboxes, stainless steel, 80mm adhesive street numbers, lockable, installed into to masonry wall in two rows of 4 and 3: brick profile and colour to match architecture
WL	Compact folding clothes line	Austral Compact 39 Fold Down (3.3mX0.94m) (40m line)
VG	Vegetable garden	200x100mm macrocarpa edging, 2.4m long, 1.2m wide, 0.2m high
RW	Retaining walls	Refer to engineering drawings for specification
+	High side of retaining wall	Refer to engineering drawings for heights
-	Low side of retaining wall	Refer to engineering drawings for heights



Standard concrete  
Parking pads and patios



Exposed aggregate  
Driveway



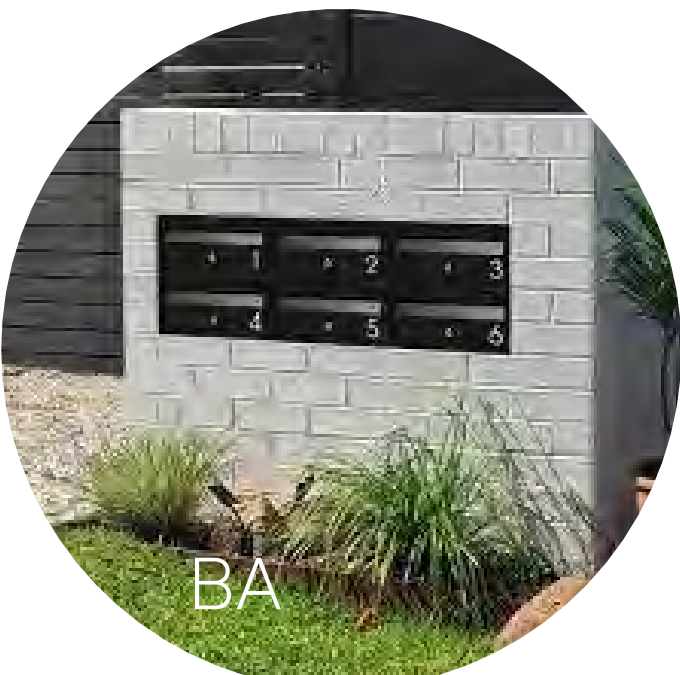
Oxide concrete  
Entry paths



Exposed aggregate  
Driveway



Permeable concrete

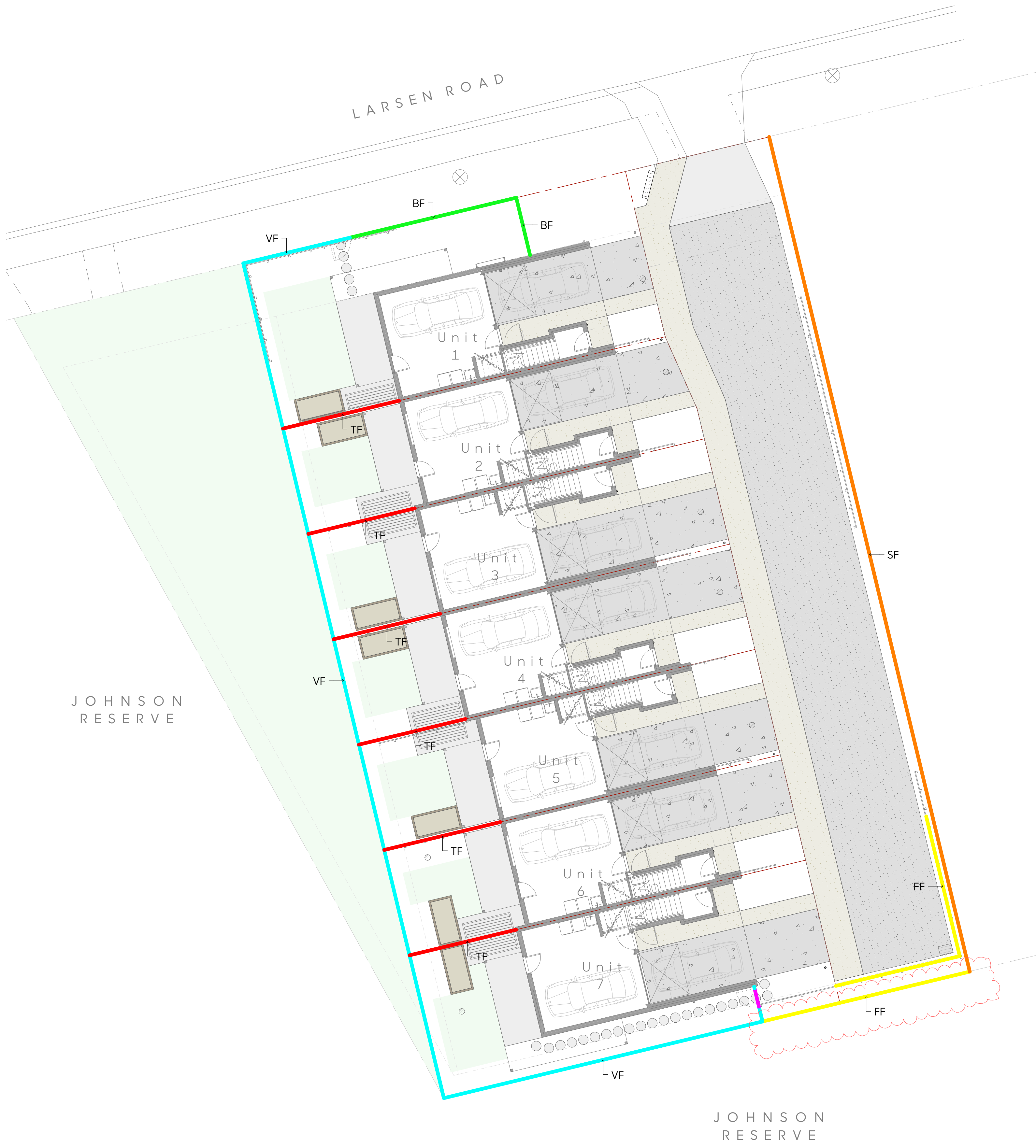


Letterbox bank



Raised vegetable beds





Code	Name	Specification
SF	Stained timber paling fence	1.8m high, 150x19mm H3.2 vertical palings, no spacing, charcoal stain finish
FF	Open aluminium balustrade	1.2m high, Boundaryline 'DuraPanel Titan' aluminium safety from falling barrier, 15mm balusters, 90mm gaps, powdercoated black
BF	Vertical batten fence	1.2m high, 50X50mm vertical battens, 25mm spacing, charcoal stain finish
VF	Vertical batten fence	1.4m high, 50X50mm vertical battens, 25mm spacing, charcoal stain finish
TF	Timber paling fence	1.8m high, 150x19mm H3.2 vertical palings, no spacing, no stain
GA	Gate to match fence intersecting	950mm wide, self-closing hinges, latch & lock



Open aluminium balustrade



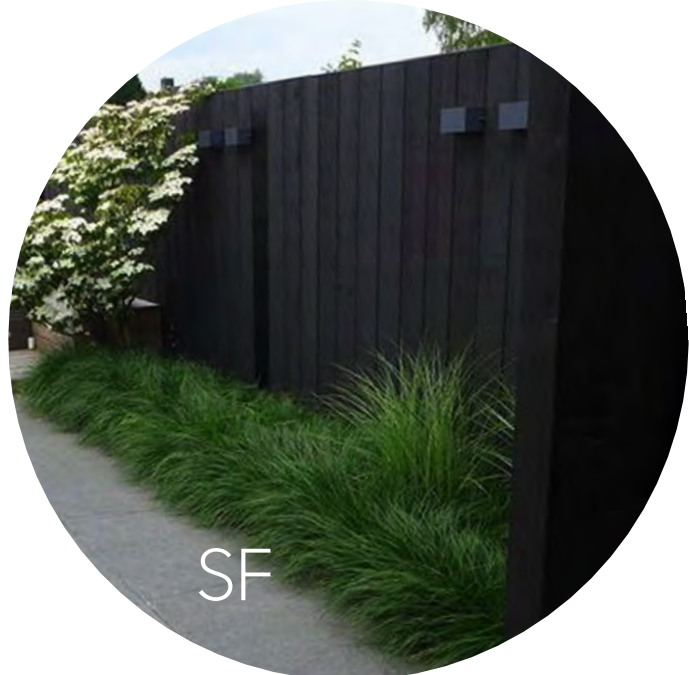
Vertical batten fence



Low vertical batten fence

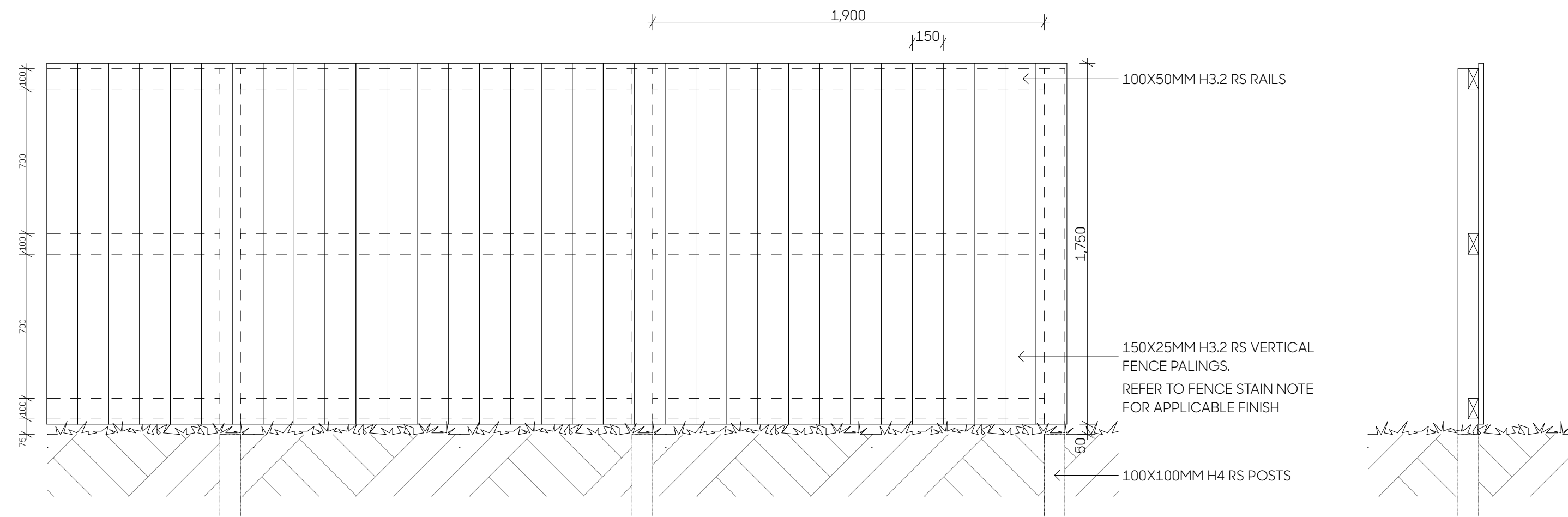


Timber paling fence

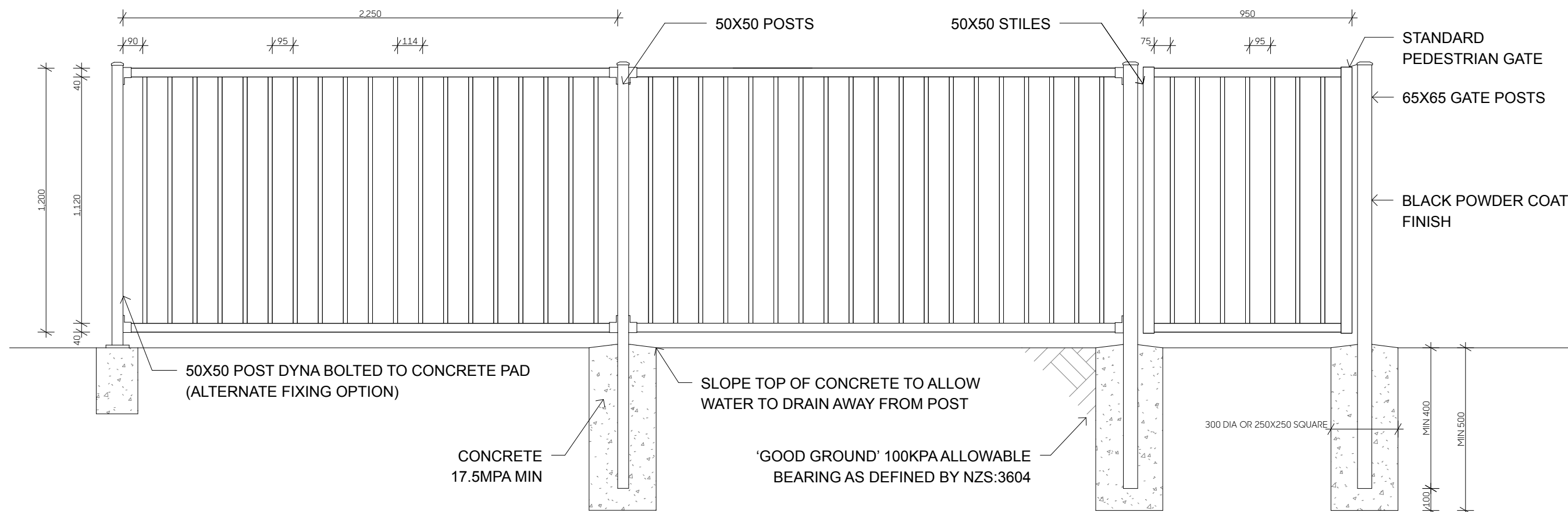


Stained timber paling fence





FD-TF: 1.8M TIMBER PALING FENCE 1:20@A1 / 1:40@A3

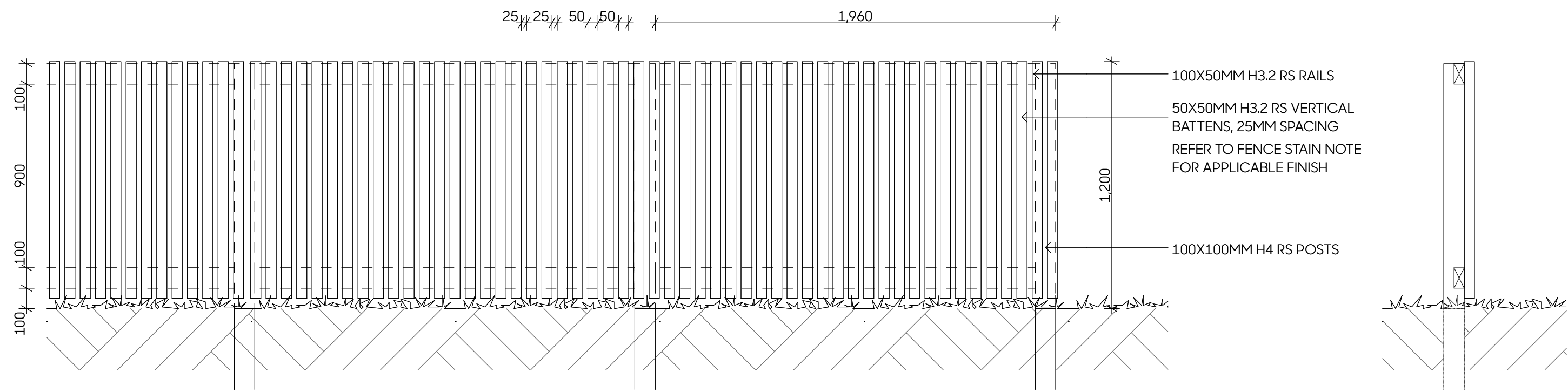


FD-FF: 1.2M OPEN ALUMINIUM FENCE 1:20@A1 / 1:40@A3

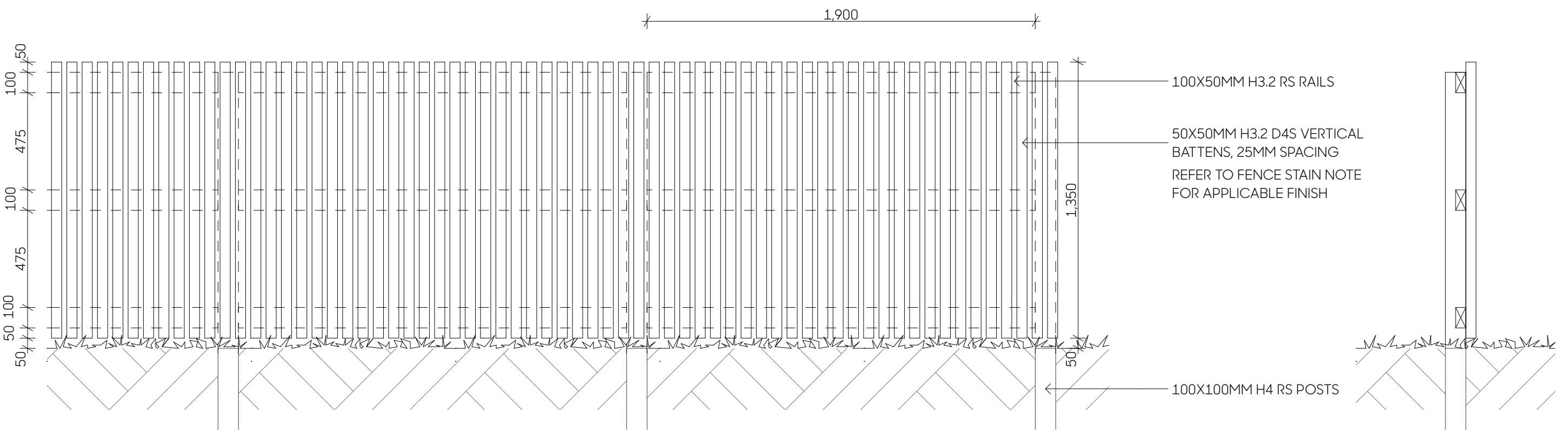


NOTES: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED.





FD-BF: 1.2M TIMBER BATTEN FENCE 1:20@A1 / 1:40@A3

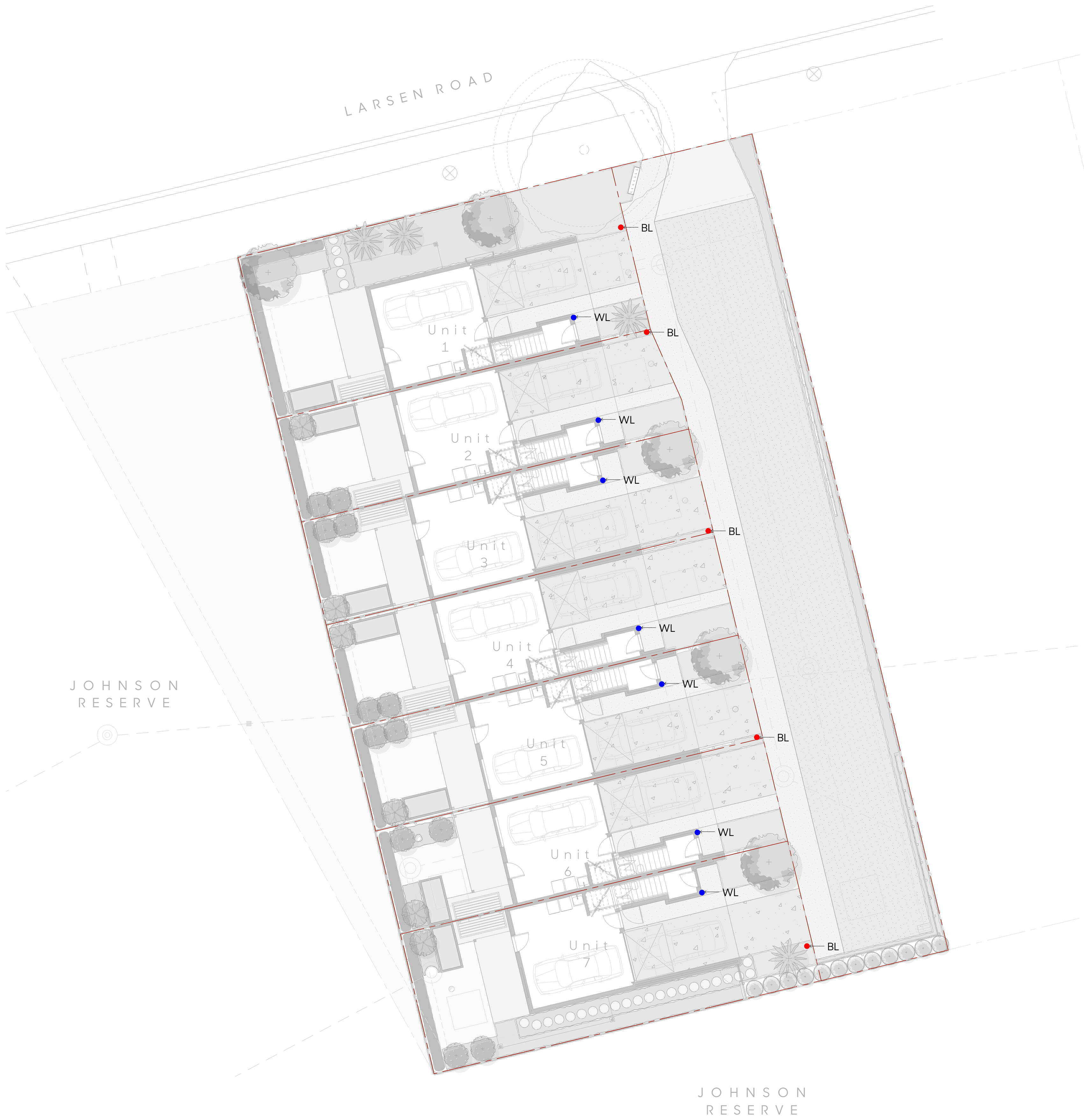


FD-VF: 1.4M TIMBER BATTEN FENCE 1:20@A1 / 1:40@A3



NOTES: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED.





Code	Name	Specification
BL	Bollard light	Bollard light to be specified by qualified lighting engineer or contractor
WL	Up/down wall light	Up/down wall mounted light activated by a long-range PIR sensor installed in soffits to be specified by qualified lighting engineer or contractor

Notes: Lux levels to be designed to ASNZS1158.3.1.2020 CAT PR2 & PC3 & PP3



Bollard lighting



Up/down wall light





LS-01: LANDSCAPE SECTION NTS



LS-02: LANDSCAPE ELEVATION NTS

Client



Project

PN-91, 14-16 Larsen Rd, Pamure, Auckland

Drawing

2307/10 Landscape Sections 01

Issue Date

7/08/25

Rev B Date

12/08/25

Drawn

TX

Checked

MB







LS-03: LANDSCAPE SECTION NTS

Client



Project

PN-91, 14-16 Larsen Rd, Pamure, Auckland

Drawing

2307/11 Landscape Sections 02

Issue Date

12/08/25

Rev B Date

12/08/25

Drawn

TX

Checked

MB





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GENERAL CIVIL NOTES AND SPECIFICATION SUMMARY

1. ALL WORK MUST COMPLY WITH THE APPROVING AUTHORITY ENGINEERING SPECIFICATIONS.
2. THE LOCATIONS AND EXTENT OF UNDERGROUND AND ABOVE GROUND SERVICES, WHERE SHOWN ON THE DRAWINGS, ARE PROVIDED FOR INFORMATION ONLY: NO GUARANTEE IS GIVEN AS TO THE CORRECTNESS OR COMPLETENESS OF THIS INFORMATION. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE SERVICE PROVIDERS, SEARCH ALL RECORDS AND HAVE FIELD SURVEYS OF ALL SERVICES UNDERTAKEN BY THE RELEVANT SERVICE PROVIDER(S), TO THE BEST AVAILABLE ACCURACY STANDARDS, AT LEAST ONE WEEK IN ADVANCE OF THE COMMENCEMENT OF THE WORKS, AND SHALL BE RESPONSIBLE FOR THEIR PROTECTION. THE ENGINEER MUST BE NOTIFIED IF THE EXISTING SERVICES ARE CLASHING WITH THE PROPOSED WORKS, IF THE FOUND LOCATIONS DON'T ALLOW THE WORK TO BE FULLY CARRIED OUT IN RESPECT OF THE DESIGN.
3. CONTRACTOR IS RESPONSIBLE FOR ALL SITE SETOUT.
4. ALL EXISTING GROUND LEVELS ON THE SITE AND NEIGHBORING PROPERTY MUST BE CONFIRMED BEFORE CONSTRUCTION.
5. THE CONTRACTOR SHALL REVIEW AND EVALUATE THE DRAWINGS AND/OR SPECIFICATION DURING THE PERFORMANCE OF HIS SERVICES AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY PROBLEMS, CONFLICTS, DEFECTS, DEFICIENCIES, INCONSISTENCIES, ERRORS, OR OMISSIONS DISCOVERED IN THE DRAWINGS, SPECIFICATION, CONTRACT WORKS AND ANY VARIANCES DISCOVERED BETWEEN THE DESIGN DOCUMENTS AND APPLICABLE LAWS, STATUTES, NEW ZEALAND BUILDING CODE, RULES OR REGULATIONS.
6. THE BELOW SPECIFICATIONS IS A SUMMARY ONLY AND A FULL SPECIFICATION SHOULD BE REQUESTED BY THE CONTRACTOR IF ANY ITEMS HAVE NOT BEEN COVERED.
7. EXISTING LEVELS AND KNOWN SERVICES ARE INDICATED ON HALL SURVEYING "WASTEWATER CCTV SURVEY FOR 8, 10, 14 & 16 LARSEN ROAD, PANMURE", JOB NUMBER 2025-185 AND DATED: 11-03-2025, AND "ENVELOPE TOPOGRAPHICAL SURVEY OVER SITE SURVEY - SUPERLOT PN-091", DRAWING NO. 1995-01-SV, REV. B AND DATED 26-11-2024.
8. THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY INSPECTIONS REQUIRED. ANY NON-INSPECTED WORK WILL NOT BE SIGNED OFF BY THE ENGINEER. FAILURE TO NOTIFY THE ENGINEER MAY RESULT IN ADDITIONAL WORK AND/OR DELAYS.THE COST OF THESE WORKS AND/OR DELAYS WILL BE AT THE CONTRACTORS COST.

EARTHWORKS;

1. EXCEPT WHERE EXPRESSLY STATED, ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH NZS 4431: 2022, NZS 4404: 2010, AND ANY OTHER REQUIREMENTS SET BY THE LOCAL COUNCIL. THE CONTRACTOR SHALL ENGAGE A SUITABLY QUALIFIED INDEPENDENT TESTING LABORATORY OR CONSULTING ENGINEER TO MONITOR THE BULK FILL PREPARATION AND PLACEMENT AND PROVIDE A CERTIFICATE CONFIRMING THAT THE COMPACTION WORKS HAVE MET THE SPECIFICATION.
2. EARTHWORKS INCLUDES CUT AND FILL WORKS TO ACHIEVE THE REQUIRED LEVELS, CROSSFALLS AND GRADIENTS. REQUIREMENTS FOR WORKS SUCH AS EXCAVATING UNSUITABLE MATERIALS, CUTTING TO STOCKPILES, DUST CONTROL, EROSION CONTROL AND OTHER RELATED INCIDENTAL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LOCAL AND/OR DISTRICT COUNCIL DESIGN GUIDELINES, NZS 4402: 1986, NZS 4404: 2010, NZS4431: 2022 AND WORK SAFE NEW ZEALAND'S GOOD PRACTICE GUIDELINES FOR EXCAVATION SAFETY.
3. THE CONTRACTOR SHALL CO-OPERATE WITH THE ENGINEER AHEAD OF AND DURING OPERATIONS TO AVOID UNNECESSARY OVER EXCAVATION.
4. THE CONTRACTOR SHALL DESIGN AND INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORKS. THE CONTRACTOR SHALL ALSO UNDERTAKE EARTHWORKS IN A CONTROLLED MANNER SO THAT EROSION FROM BARE AREAS IS KEPT TO A PRACTICAL MINIMUM AND ERODED MATERIAL IS CONFINED WITHIN THE SITE AND NOT ALLOWED TO ENTER WATERWAYS OR STORMWATER DRAINS. THE CONTRACTOR SHALL ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES, AND SILT RETENTION MEASURES ARE IN PLACE AT ALL TIMES. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST COMPLY WITH THE LOCAL AND/OR DISTRICT COUNCIL DESIGN GUIDELINES.
5. THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO WHEN THE FINAL CUT LEVEL IS ACHIEVED AND OFFER THE ENGINEER THE OPPORTUNITY TO INSPECT THE EXPOSED SUBGRADE.
6. PRIOR TO FILL PLACEMENT, THE SUBGRADE SHALL BE PROOF-ROLLED, COMPACTED AND TESTED IN A MANNER SIMILAR TO THAT USED ON THE LAYERS OF FILL. ANY RESULTING SOFT SPOTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER WHO SHALL DETERMINE IF UNDERCUTTING OF THE SOFT SPOT IS REQUIRED.
7. THE CONTRACTOR SHALL SUPPLY MAXIMUM DRY DENSITY (MDD) CURVES (DEVELOPED IN ACCORDANCE WITH NZS4402: 1986 TEST 4.1.1) AND PARTICLE SIZE DISTRIBUTION (PSD) GRAPHS (DEVELOPED IN ACCORDANCE WITH NZS4407: 2015 TEST 3.8.1).
8. THE MATERIALS SHALL BE SPREAD UNIFORMLY IN LAYERS NOT EXCEEDING 225mm IN THICKNESS AND CONDITIONED TO AN APPROPRIATE AVERAGE WATER CONTENT
9. THE METHOD OF ACHIEVING THE REQUIRED COMPACTION IS THE RESPONSIBILITY OF THE CONTRACTOR, ALTHOUGH CONTROL ON LAYER DEPTH ETC., AS SPECIFIED IN NZS4431: 1989 SHALL BE REQUIRED.
10. THE FILL MATERIALS SHALL BE COMPACTED TO ACHIEVE THE PARAMETERS SPECIFIED IN TABLES 1.1, 1.2, 1.3 AND 1.4 BELOW.

TABLE 1.1 - COMPACTION REQUIREMENTS - M/4 AP/40 AND GAP/40

PARAMETER	AVERAGE VALUE	INDIVIDUAL VALUE
COMPACTION	GREATER THAN 95% OF MDD	GREATER THAN 92% OF MDD
AIR VOIDS	LESS THAN 8%	LESS THAN 10%
WATER CONTENT	WITHIN 3% OF OPTIMUM	WITHIN 5% OF OPTIMUM
CBR (%)	GREATER THAN 35	GREATER THAN 33

TABLE 1.2 - COMPACTION REQUIREMENTS - GAP/65

PARAMETER	AVERAGE VALUE	INDIVIDUAL VALUE
COMPACTION	GREATER THAN 95% OF MDD	GREATER THAN 92% OF MDD
AIR VOIDS	LESS THAN 8%	LESS THAN 10%
WATER CONTENT	WITHIN 3% OF OPTIMUM	WITHIN 5% OF OPTIMUM
CBR (%)	GREATER THAN 25	GREATER THAN 23

TABLE 1.3 - COMPACTION REQUIREMENTS - NON-COHESIVE FILL

PARAMETER	AVERAGE VALUE	INDIVIDUAL VALUE
COMPACTION	GREATER THAN 95% OF MDD	GREATER THAN 92% OF MDD
AIR VOIDS	LESS THAN 8%	LESS THAN 10%
WATER CONTENT	WITHIN 3% OF OPTIMUM	WITHIN 5% OF OPTIMUM

TABLE 1.4 - COMPACTION REQUIREMENTS - COHESIVE FILL

PARAMETER	AVERAGE VALUE	INDIVIDUAL VALUE
COMPACTION	GREATER THAN 95% OF MDD	GREATER THAN 92% OF MDD
AIR VOIDS	LESS THAN 8%	LESS THAN 10%
WATER CONTENT	WITHIN 3% OF OPTIMUM	WITHIN 5% OF OPTIMUM
UNDRAINED SHEAR STRENGTH	140kPa	120kPa

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SPECIFIED COMPACTION PARAMETERS ARE ACHIEVED AND SHALL CARRY OUT SUCH TESTING AS IS NEEDED TO ENSURE THE CONSISTENT QUALITY OF THE FILL.
12. THE TESTS DESCRIBED AND DEFINED IN TABLE 2.1 AND 2.2 SHALL BE USED TO DETERMINE THE CLASSIFICATION AND COMPACTION STANDARDS OF FILL MATERIALS.

TABLE 2.1 - TESTS AND TEST METHODS

TEST NO.	TEST	TEST METHOD
1.	IN-SITU DENSITY	NZS 4407:1991 TESTS 4.2.1, 4.2.2 (NUCLEAR DENSOMETER) MAY BE USED AS AN APPROXIMATE METHOD
2.	UNDRAINED SHEAR STRENGTH	IN ACCORDANCE WITH THE GUIDELINE FOR HAND HELD SHEAR VANE TEST, NEW ZEALAND GEOTECHNICAL SOCIETY, 2001.

TABLE 2.2 - TEST FREQUENCY

TEST	LOCATION / PURPOSE	FREQUENCY
IN-SITU DENSITY TEST (NDM)	IN-SITU DENSITY	AT LEAST ONE TEST PER 50m³ OR AT LEAST ONE PER 0.5m THICKNESS OF FILL PLACED (WHICHEVER IS LESS)
SHEAR VANE	UNDRAINED SHEAR STRENGTH	AT LEAST ONE TEST PER 25m³ OR AT LEAST TWO PER 0.5m THICKNESS OF FILL PLACED (WHICHEVER IS LESS)
CLEGG IMPACT HAMMER TEST	BASECOURSE	AT LEAST ONE TEST EVERY 10m ALTERNATE SIDES OR AT LEAST ONE TEST EVERY 100m²

STORMWATER AND WASTEWATER;

1. FOR ALL THE REFERENCES LISTED, THE CONTRACTOR MUST USE THE LATEST VERSION OF THE STANDARDS AND SPECIFICATIONS PUBLISHED, UNLESS WHEN STATED OTHERWISE.
2. THE WORK SPECIFIED CONSISTS OF THE CONSTRUCTION OF UNDERGROUND GRAVITY STORMWATER AND WASTEWATER PIPES, TOGETHER WITH STRIP DRAINS, SUMPS/CATCH-PITS, MANHOLES, CHAMBERS, AND OTHER STRUCTURES SHOWN ON THE DRAWINGS.
3. ALL WORK IN PRIVATE PROPERTY SHALL COMPLY WITH MINIMUM REQUIREMENTS OF THE NEW ZEALAND BUILDING CODE, CLAUSES E1 - SURFACE WATER, G13 - FOUL WATER. THE AS/NZS 3500 STANDARD SERIES PROVIDE MEANS OF COMPLIANCES.
4. ALL LATERALS MUST HAVE A MINIMUM DIAMETER OF 100mm, UNLESS SHOWN OTHERWISE.
5. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL SUPPLY AND DELIVER TO THE SITE ALL PIPES, JUNCTIONS, PRECAST MANHOLES, GRANULAR BEDDING MATERIAL AND OTHER MATERIALS REQUIRED FOR INCORPORATION IN THE WORK. MATERIALS SHALL BE NEW, OF GOOD QUALITY AND FREE OF DEFECTS.
6. DESIGN AND INSTALLATION OF STORMWATER AND WASTEWATER PIPES SHALL COMPLY WITH THE FOLLOWING STANDARDS:

6.1 AS/NZS 1254: 2010, PVC-U PIPES AND FITTINGS FOR STORMWATER AND SURFACE WATER APPLICATIONS

6.2 AS/NZS 1260: 2009, PVC-U PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION

6.3 AS/NZS 2032: 2006, INSTALLATION OF PVC PIPE SYSTEMS

6.4 AS/NZS 2566.2: 2002, BURIED FLEXIBLE PIPELINES - INSTALLATION

6.5 AS/NZS 3725:2007, REINFORCED CONCRETE PIPE INSTALLATION

6.6 CPAA ENGINEERING GUIDELINE SELECTING MATERIALS FOR BEDDING STEEL REINFORCED CONCRETE PIPE
7. ALL PVC-U PIPES WITH COVER DEPTHS COMPLYING WITH THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, ANY ACCEPTABLE NEW ZEALAND CITY COUNCIL DESIGN GUIDELINES, NZBC AND/OR NZS4404, SHALL HAVE MINIMUM STRENGTH SN10 (STORMWATER) AND SN16 (WASTEWATER).
8. ALL REINFORCED CONCRETE PIPES WITH COVER DEPTHS COMPLYING TO THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, ANY ACCEPTABLE NEW ZEALAND CITY COUNCIL DESIGN GUIDELINES, NZBC AND/OR NZS4404, SHALL HAVE MINIMUM STRENGTH CLASS 3.
9. CONCRETE PRECAST MANHOLES SHALL COMPLY WITH NZS 4058: 2007 AND SHALL HAVE INTERNAL DIAMETER OF 1,050mm UNLESS SPECIFIED OTHERWISE.
10. THE CONTRACTOR SHALL SET OUT THE WORKS IN ACCORDANCE WITH THE POSITIONS AND LEVELS SHOWN ON THE DRAWINGS OR OTHERWISE PROVIDED BY THE ENGINEER.
11. PIPELINES SHALL NOT BE SET OUT BY USE OF LASER EQUIPMENT UNLESS REGULAR CHECKS AGAINST REDUCED LEVELS BY CONVENTIONAL SURVEY METHODS ARE ALSO MADE TO ENSURE CUMULATIVE ERRORS DO NOT OCCUR
12. UNLESS OTHERWISE SPECIFIED, ALL STORMWATER AND WASTEWATER PIPES SHALL BE LAID ON AND SURROUNDED WITH IMPORTED COMPACTED GRANULAR BEDDING TO A HEIGHT OF AT LEAST 150mm ABOVE THE PIPE BARREL. GRANULAR BEDDING MATERIAL SHALL CONSIST OF SAND AND GRAVELS NO LARGER THAN 10mm, FREE FROM VEGETATION, OTHER ORGANIC MATTER OR CLAY AND FROM PARTICLES LARGER THAN 20mm, AND IN COMPLIANCE WITH THE REQUIREMENTS OF THIS SPECIFICATION AND THE RELEVANT AS/NZS PIPELAYING SPECIFICATION UNLESS SHOWN OTHERWISE ON THE DRAWINGS
13. PIPES SHALL BE LOCATED IN THE TRENCH NOT CLOSER THAN 100mm FROM THE TRENCH WALL UNLESS SPECIFIED OTHERWISE.
14. MANHOLES SHALL BE CONSTRUCTED IN REINFORCED CONCRETE OR USING PRECAST CONCRETE ELEMENTS IN ACCORDANCE WITH THE DRAWINGS. MANHOLE INVERTS SHALL BE CAST IN-SITU, WITH CHANNELS FORMED IN THE CONCRETE USING GLAZED EARTHENWARE HALF PIPES FOR ALL MAINS UP TO AND INCLUDING 300mm DIAMETER. INVERTS FOR LARGER MAINS SHALL BE STEEL TROWEL FINISHED CEMENT MORTAR.
15. WHERE SHOWN ON THE DRAWINGS, Y JUNCTION PIPES FOR SERVICE CONNECTIONS SHALL BE INSERTED IN STORMWATER AND WASTEWATER PIPES, COMPLETE WITH INSPECTION BENDS AND CONCRETE SURROUND. INCLINED RISER PIPES SHALL BE USED WHERE APPROPRIATE TO BRING SERVICE CONNECTIONS TO THE REQUIRED DEPTHS
16. ALL SUMPS MUST BE CONSTRUCTED AS PER THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, ANY ACCEPTABLE NEW ZEALAND CITY COUNCIL DESIGN GUIDELINES, NZBC AND/OR NZS4404.
17. THE CONTRACTOR SHALL TEST ALL STORMWATER PIPES, WASTEWATER PIPES, CONNECTIONS AND MANHOLES FOR WATER TIGHTNESS
18. TEST RESULTS SHALL BE RECORDED BY THE CONTRACTOR IN A NEAT CLEAR FORM AND PROVIDED TO THE ENGINEER WITHIN 48 HOURS OF COMPLETION OF THE TESTING.
19. STORMWATER AND WASTEWATER PIPES SHALL BE TESTED BY HYDROSTATIC TEST SPECIFIED IN THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, ANY ACCEPTABLE NEW ZEALAND CITY COUNCIL DESIGN GUIDELINES, NZBC AND/OR NZS4404.
20. SOAKAGE PITS SHALL BE CONSTRUCTED TO THE DIMENSIONS AND DEPTHS AS SHOWN ON THE DRAWINGS. MANHOLES, PIPES, GEOFABRIC, GRAVELS AND BOULDERS, ETC. SHALL BE PROVIDED AS SHOWN ON THE DRAWINGS.
21. SOAKAGE AND PERMEABILITY FIELD TESTS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, ANY ACCEPTABLE NEW ZEALAND CITY COUNCIL DESIGN GUIDELINES, NZBC AND/OR NZS4404.
22. PRIOR TO CONSTRUCTION THE SOAKAGE PIT TEST RESULT SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND COMPLIANCE CONFIRMATION

WATER SUPPLY;

1. ALL WORK SHALL COMPLY WITH THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, ANY ACCEPTABLE NEW ZEALAND CITY COUNCIL DESIGN GUIDELINES, NZBC AND/OR NZS4404.
2. ALL WORK IN PRIVATE PROPERTY SHALL COMPLY WITH MINIMUM REQUIREMENTS OF THE NEW ZEALAND BUILDING CODE, G12 - WATER SUPPLIES. THE AS/NZS 3500 STANDARD SERIES PROVIDE MEANS OF COMPLIANCES.
3. PIPES, VALVES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING STANDARDS AS APPLICABLE.

3.1 AS/NZS 4130: 2009, POLYETHYLENE (PE) PIPES FOR PRESSURE APPLICATIONS

3.2 AS/NZS 3500.1: 2015, PLUMBING AND DRAINAGE, PART 1: WATER SERVICES

3.3 NZS 7602: 1977, SPECIFICATION FOR POLYETHYLENE PIPE (TYPE 5) FOR COLD WATER SERVICES

3.4 AS/NZS 2033: 2008, INSTALLATION OF POLYETHYLENE PIPE SYSTEMS

3.5 AS/NZS 2566.2: 2002, BURIED FLEXIBLE PIPELINES - INSTALLATION
4. FIRE HYDRANT AND SURFACE BOX FRAMES AND COVERS SHALL COMPLY WITH DETAILS SHOWN ON THE DRAWINGS AND THE REQUIREMENTS OF THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS AND MEET THE STANDARDS SPECIFIED BY BS750: 2012, SPECIFICATION FOR UNDERGROUND FIRE HYDRANTS AND SURFACE BOX FRAMES AND COVERS.
5. TOBY BOXES OR ALTERNATIVE METER/VALVE BOX ON WATER CONNECTION LATERALS SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS.
6. PIPES SHALL BE LOCATED IN THE TRENCH NOT CLOSER THAN 100mm FROM THE TRENCH WALL.
7. CAST IN-SITU ANCHOR BLOCKS SHALL BE PROVIDED AT ALL POINTS WHERE AN UNBALANCED THRUST OCCURS. THIS INCLUDES ALL BENDS, TEES, VALVES, HYDRANTS AND REDUCERS, DEAD ENDS, ETC.
8. CONCRETE REQUIRED FOR ANCHOR BLOCKS AND THRUST BLOCKS SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 17.5MPA (CAST IN-SITU CONCRETE) OR 30MPA (PRECAST CONCRETE), COMPLYING WITH NZS 3109.
9. A BACKFLOW PREVENTER MAY BE REQUIRED TO PREVENT FLOW OF WATER IN THE OPPOSITE DIRECTION THE PREMISES BACK INTO THE PUBLIC WATER SUPPLY NETWORK WHERE WATER PRESSURE DROPS IN THE WATER DISTRIBUTION SYSTEM. THE BACKFLOW PREVENTER SHALL BE HOUSED ABOVE GROUND IN A LOCKABLE WEATHER-PROOF CABINET WHERE AND WHEN REQUIRED UNLESS OTHERWISE SPECIFIED.
10. UNLESS OTHERWISE SPECIFIED ALL WATERMAINS AND SERVICES SHALL BE SURROUNDED AND BACKFILLED TO A HEIGHT OF 150mm ABOVE THE PIPE BARREL WITH COMPACTED GRANULAR MATERIAL IN COMPLIANCE WITH THE REQUIREMENTS OF THIS SPECIFICATION AND THE RELEVANT AS/NZS PIPELAYING SPECIFICATION UNLESS SHOWN OTHERWISE IN THE DRAWING DETAILS.
11. THE CONTRACTOR SHALL TEST ALL WATERMAINS AND CONNECTIONS AGAINST HYDROSTATIC PRESSURE TO THE SATISFACTION OF THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS AND THE ENGINEER BEFORE COMPLETING BACKFILLING, AND ANY DEFECTIVE OR LEAKING PIPES, FITTINGS OR JOINTS SHALL BE REPLACED.
12. UNLESS OTHERWISE APPROVED ALL PIPELINES SHALL BE DISINFECTED BY THE METHOD SPECIFIED IN NZS 4404: 2010, LAND DEVELOPMENT AND SUBDIVISION INFRASTRUCTURE APPENDIX C.

FOR APPROVAL

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THIS DRAWING IS FOR DETAILED DESIGN PURPOSES ONLY.

1	08-04-2025	PRELIMINARY DESIGN	LH
REV	DATE	ISSUED FOR	BY

PROJECT  
PN91

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

CLIENT  
DOMINION CONSTRUCTORS LTD

TITLE  
GENERAL NOTES & LEGEND  
DRAWING 1 OF 2

REVIEWED BY	MJG	08-04-2025
DESIGNED BY	JCC	08-04-2025
DRAWN BY	LH	08-04-2025
SCALE	JOB NO.	2430334
DRAWING NO.	REV.	
C1.0	1	

DETAILED DESIGN





Cadd File: X:\PROJ\_2024\240334\TRC\_P\Net\1 LARSEN AND\_TORNO\102\JPD-CIVIL\DRFT1\100240334-CL0-GENERAL\_NOTES.DWG    Pld Date: 6/30/2025 2:06:09 PM    Name: Eric Kyeaw    Verbs:

PAVEMENT;

- THE CONTRACTOR SHALL SUPPLY, SPREAD, COMPACT, TRIM AND MAINTAIN THE CRUSHED ROCK, GRAVEL, SAND OR MIXTURES ALL AS SPECIFIED, IN ACCORDANCE WITH THE LINES, GRADES, THICKNESSES AND CROSS-SECTIONS SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER, WITHIN THE TOLERANCES SPECIFIED.
- ALL WORKS SHALL COMPLY WITH THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, NZTA AND NZS4404.
- WHEN THE SUB-GRADE HAS BEEN BROUGHT TO THE FORMATION LEVELS SHOWN ON THE DRAWINGS AND COMPACTED, IT SHALL BE TESTED BY THE CONTRACTOR AND RESULTS ISSUED TO THE ENGINEER FOR APPROVAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SUB-GRADE CONDITIONS AND SUBMIT THE TEST RESULTS TO THE ENGINEER BEFORE PLACING THE SUB-BASE MATERIALS.
- FOR FLEXIBLE PAVEMENTS THE CONTRACTOR SHALL SUPPLY A TWO-AXLE TRUCK WITH TWIN TYRES ON THE REAR AXLE, LOADED TO EIGHT TONNES ON THE REAR AXLE. A WEIGHBRIDGE DOCKET CERTIFYING THE REAR AXLE WEIGHT SHALL BE GIVEN TO THE ENGINEER. BENKELMAN BEAM TESTS WILL BE IN ACCORDANCE WITH THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, NZTA AND NZS4404. MINIMUM DEFLECTION OF THE PAVEMENT TO BE SPECIFIED BY THE ENGINEER.
- MATERIAL FOR CONSTRUCTION OF SUB-BASE SHALL COMPLY WITH THE REQUIREMENTS OF TNZ SPECIFICATION M/3 WITH REGARDS TO A GENERAL ALL PASSING (GAP) 65mm PRODUCT.
- GRADING OF THE SUB-BASE MATERIAL SHALL BE IN ACCORDANCE WITH THE THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, NZTA AND NZS4404.
- SUB-BASE MATERIAL SHALL BE PLACED AND COMPACTED IN UNIFORM NEAR HORIZONTAL LAYERS NOT EXCEEDING 225mm UNCOMPACTED THICKNESS, AND SHALL NOT BE PLACED DURING OR IMMEDIATELY FOLLOWING WET WEATHER, OR ON SATURATED GROUND.
- AGGREGATE FOR CONSTRUCTION OF BASECOURSE LAYERS SHALL BE CRUSHED ROCK, FREE FROM SILT OR CLAY LUMPS, WEATHERED OR DISINTEGRATED ROCK, ORGANIC AND OTHER NON-MINERAL MATTER. UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE DRAWINGS:
  - FOR HARDSTAND AREA, BASECOURSE MATERIAL SHALL COMPLY WITH THE MOST RECENT TNZ SPECIFICATION M/4, "CRUSHED BASECOURSE AGGREGATE", GRADING M/P AP40.
  - FOR FOOTPATHS, BASECOURSE MATERIAL SHALL COMPLY WITH THE MOST RECENT TNZ SPECIFICATION M/4, "CRUSHED BASECOURSE AGGREGATE", GRADING AP20.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SUB-BASE COMPACTION AND SUBMIT THE TEST RESULTS TO THE ENGINEER BEFORE PLACING THE BASECOURSE MATERIALS.
- GRADING OF THE BASECOURSE MATERIAL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, NZTA AND NZS4404.
- BASECOURSE MATERIAL SHALL BE PLACED AND COMPACTED IN LAYERS WITH AN UNCOMPACTED THICKNESS NOT EXCEEDING 225mm AND CONDITIONED TO AN APPROPRIATE AVERAGE WATER CONTENT. EACH LAYER SHALL BE COMPACTED BY MULTIPLE PASSES OF A SMOOTH STEEL WHEELED ROLLER OR OTHER PLANT APPROVED BY THE ENGINEER, TO NOT LESS THAN 100% OF THE MAXIMUM DRY DENSITY OBTAINED FOR THE BASECOURSE MATERIAL BY THE NEW ZEALAND STANDARD COMPACTION TEST (NZS 4402, TEST 4.1.1), AND SO AS TO SATISFY DEFLECTION REQUIREMENTS AS SPECIFIED BY IN THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS AND/OR ANY ACCEPTABLE NEW ZEALAND CITY COUNCIL DESIGN GUIDELINES AND NZS4404.
- COMPACTION OF BASECOURSE SHALL TAKE PLACE AT A WATER CONTENT APPROPRIATE TO THE PLANT BEING USED. IF WATER IS REQUIRED TO BE ADDED, A FINE MIST SPRAY SHALL BE USED AND EXCESS WATER SHALL BE PREVENTED FROM DAMAGING THE SUB-GRADE OR SUB-BASE. THE UPPERMOST LAYER SHALL BE COMPACTED AND THE FINISHED SURFACE PROOF ROLLED USING A SMOOTH STEEL WHEELED ROLLER, WITH REAR ROLLS AT LEAST 500MM WIDE AND LOADED TO NOT LESS THAN SIX TONNES PER METRE WIDTH.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE BASECOURSE COMPACTION AND SUBMIT THE TEST RESULTS TO THE ENGINEER BEFORE PLACING THE FINAL SURFACE MATERIAL.
- STORMWATER RUNOFF FROM SURROUNDING SITE SHALL BE DIRECTED AWAY FROM UNSEALED GRANULAR PAVEMENT, AND ANY ACCIDENTAL DEPOSIT OF MUD OR SILT SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- ANY DEFECTS OR DAMAGE CAUSED BY THE OPERATIONS OF THE CONTRACTOR DURING CONSTRUCTION OR MAINTENANCE OF PAVEMENT LAYERS SHALL BE MADE GOOD BY THE CONTRACTOR WITHOUT EXTRA PAYMENT.
- THE BASECOURSE AGGREGATE FOR USE UNDER THE SEALED AREAS MUST COMPLY AND BE INSTALLED AS PER THE NEW ZEALAND TRANSPORT AGENCY (NZTA) TNZ B/02 AND TNZ M/4 SPECIFICATIONS. THE DEGREE OF SATURATION PRIOR TO BITUMINOUS SURFACING MUST BE NO MORE THAN 65%.
- ASPHALT PAVEMENT MUST COMPLY WITH THE NZTA M-01-A AND TNZ M/10 SPECIFICATIONS. THE ASPHALT BINDER MUST BE "PG 58S" UNLESS SPECIFIED OTHERWISE.
- MEMBRANE CHIP SEALS WITH BITUMINOUS EMULSION (WATERPROOF TREATMENT) MUST COMPLY WITH THE NZTA "CHIPSEALING IN NEW ZEALAND" PRACTICE NOTES AND TNZ M/6 SPECIFICATION.
- PENETRATION GRADE OF BITUMEN FOR THE ROAD PAVEMENT SHALL BE OF 80/100 COMPLYING WITH THE REQUIREMENTS WITHIN NZTA NZ SPECIFICATION M/1 "SPECIFICATION FOR ROADING BITUMEN'S".
- THE TRANSPORT, SPREADING AND COMPACTION OF ASPHALTIC CONCRETE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF TNZ SPECIFICATION P/9 OR P/9P THE LATTER WHICH PROVIDES FOR A WIDER RANGE OF ROLLING OPTIONS..
- ALL CONCRETE AND PAVED AREAS WILL BE CONSTRUCTED WITH REFERENCE TO THE LATEST VERSIONS OF THE FOLLOWING DOCUMENTS: NZBC, NZS3104, NZS3109, NZS3112, NZS 3114.
- UNLESS OTHERWISE SPECIFIED, CONCRETE SHALL BE OF NORMAL GRADE READY MIXED CONCRETE, WITH AN IN-SITU CONCRETE STRENGTH OF AT LEAST 40MPA AT 28 DAYS. THE MAXIMUM SIZE OF COARSE AGGREGATE SHALL BE 20MM EXCEPT WHEN OTHERWISE SPECIFIED.
- THE CONCRETE SUPPLIER SHALL BE A MEMBER OF THE READY-MIX CONCRETE ASSOCIATION OF NEW ZEALAND. OTHER SUPPLIERS MAY BE APPROVED BY THE ENGINEER BUT ONLY AFTER RECEIVING EVIDENCE OF RECENT INDEPENDENT AUDITS.
- CALCIUM CHLORIDE SHALL NOT BE USED.
- NO ADDITIVES SHALL BE INCLUDED IN THE MIX DESIGN WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- NO PLASTICISERS OR SUPER-PLASTICISERS SHALL BE USED IN ANY MIX, WITHOUT WRITTEN AUTHORISATION FROM THE ENGINEER.
- FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH SECTION 5 OF NZS3109: 1997
- CONCRETING, COMPACTION AND VIBRATION SHALL BE IN ACCORDANCE WITH SECTION 7 OF NZS3109: 1997
- CONCRETE FOR KERBS, CHANNELS AND VEHICLE CROSSINGS SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 20MPA, SUPPLIED AND PLACED IN ACCORDANCE WITH THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS, NZTA AND NZS4404
- VEHICLE CROSSINGS SHALL BE CLEGG-TESTED AND SHALL EXCEED A CBR OF 30%.
- ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH SECTION 7.8 OF NZS3109: 1997
- MESH REINFORCEMENT SHALL BE HARD DRAWN STEEL WIRE COMPLYING WITH AS/NZS4671: 2001

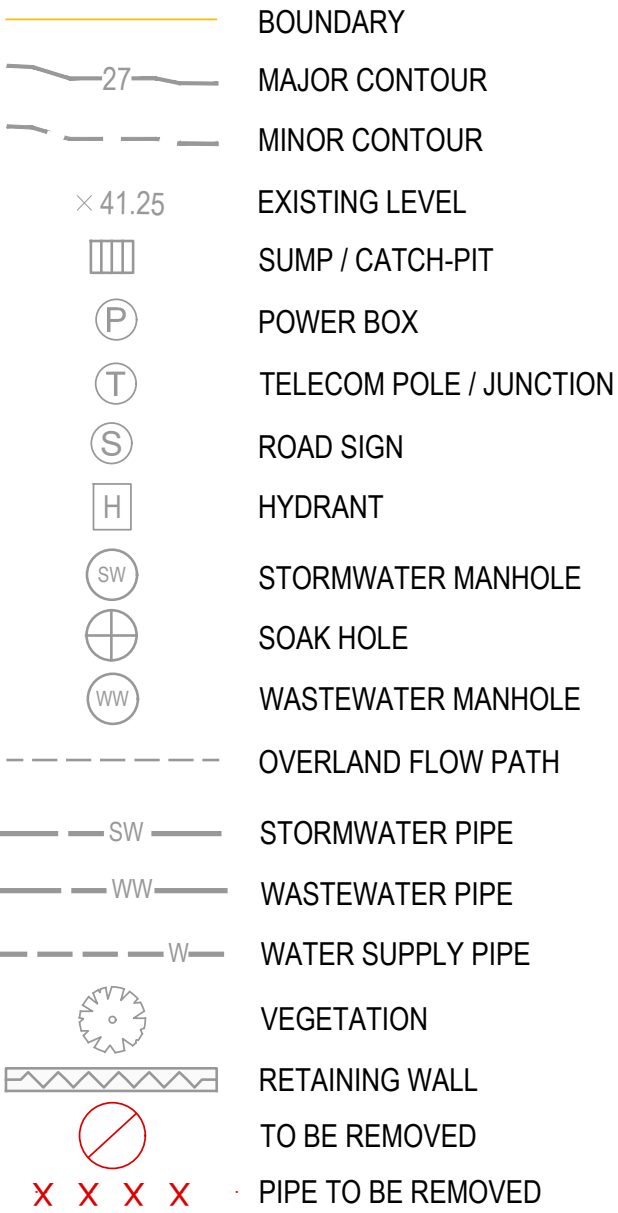
POST CONSTRUCTION

THE FOLLOWING DOCUMENTS MUST BE SUBMITTED TO THE ENGINEER FOR FINAL SIGN-OFF AND ISSUE OF PS4:

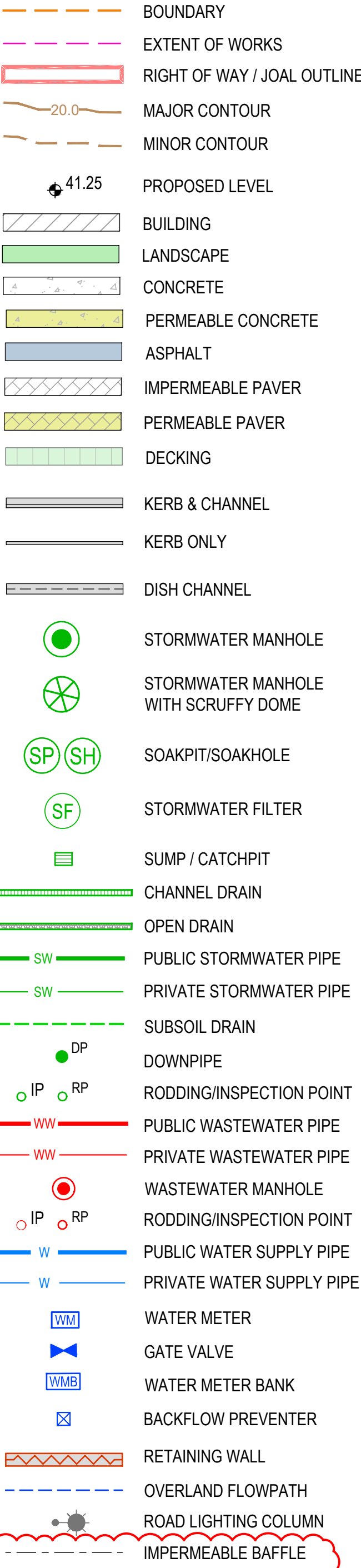
- PS3 (OF ALL CONTRACTORS AND SUB-CONTRACTORS)
- DETAILED AS-BUILT (AS PER THE LOCAL COUNCIL'S ENGINEERING SPECIFICATIONS AND NZS 4404), WITH:
  - INVERT LEVELS
  - PIPE CLASS
  - PIPE BENDS
  - PIPE CONNECTION/LATERALS
  - PIPE GRADE
  - MATERIAL
  - MANHOLE DETAILS
  - CONNECTION DETAILS
  - ALL DRAINAGE ASSET DETAILS
- SOIL COMPACTION TEST RESULTS
  - RIGID PAVEMENTS, VEHICLE CROSSINGS, KERB AND CHANNELS (CLEGG AND NDM)
  - FLEXIBLE PAVEMENTS (BENKELMAN BEAM TEST)
- MATERIAL CERTIFICATION
- CCTV INDENTIFYING ANY DEFECTS SUCH AS;
  - IRREGULAR OR POOR QUALITY JOINTING
  - PIPE LOSS OF SHAPE
  - PIPE CRACKING OR DEFECT
  - POOR QUALITY JUNCTIONS OR PENETRATION OF CONNECTIONS
  - EVIDENCE OF WATER INGRESS OR LEAKAGE FROM PIPES OR MANHOLES
  - EVIDENCE OF ANY SILT OR DEBRIS IN THE PIPELINE
  - DEPARTURE FROM DESIGN GRADE
  - EVIDENCE OF LOW POINTS IN THE PIPELINE CAUSING POOLING OF STATIC WATER OR DEPOSITING OF SOLIDS
  - FAULTY MANHOLE DETAILS INCLUDING PLASTERING, HAUNCHING, THICKNESS OF BASE CONCRETE, ETC
- LEAKAGE TEST RESULTS (AIR TESTING AND HYDROSTATIC TESTING)
- BACKFLOW PREVENTER, FOX VALVE, EMERGENCY SHUT OFF VALVE, SOAKAGE AND STORMWATER FILTER INSTALLATION/TEST CERTIFICATES (WHERE APPLICABLE)
- CONSTRUCTION INSPECTION RECORDS
- SITE PHOTOS AS REQUESTED BY THE ENGINEER

LEGEND

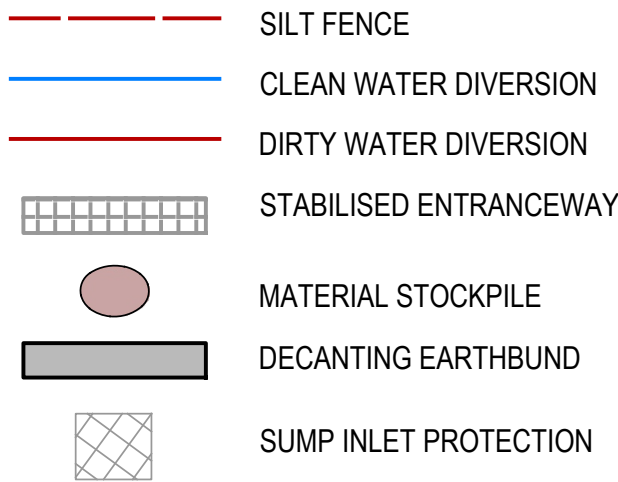
EXISTING:



PROPOSED:



EROSION SEDIMENT CONTROL:



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2	30-06-2025	DETAILED DESIGN	EK
1	08-04-2025	PRELIMINARY DESIGN	LH
REV	DATE	ISSUED FOR	BY

PROJECT

PN91

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

CLIENT

**DOMINION CONSTRUCTORS LTD**

TITLE

**GENERAL NOTES & LEGEND  
DRAWING 2 OF 2**

REVIEWED BY	MJG	08-04-2025
DESIGNED BY	JCC	08-04-2025
DRAWN BY	LH	08-04-2025

SCALE	JOB NO.	2430334
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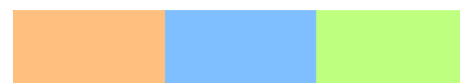
DRAWING NO.	REV.
C1.1	2

DETAILED DESIGN

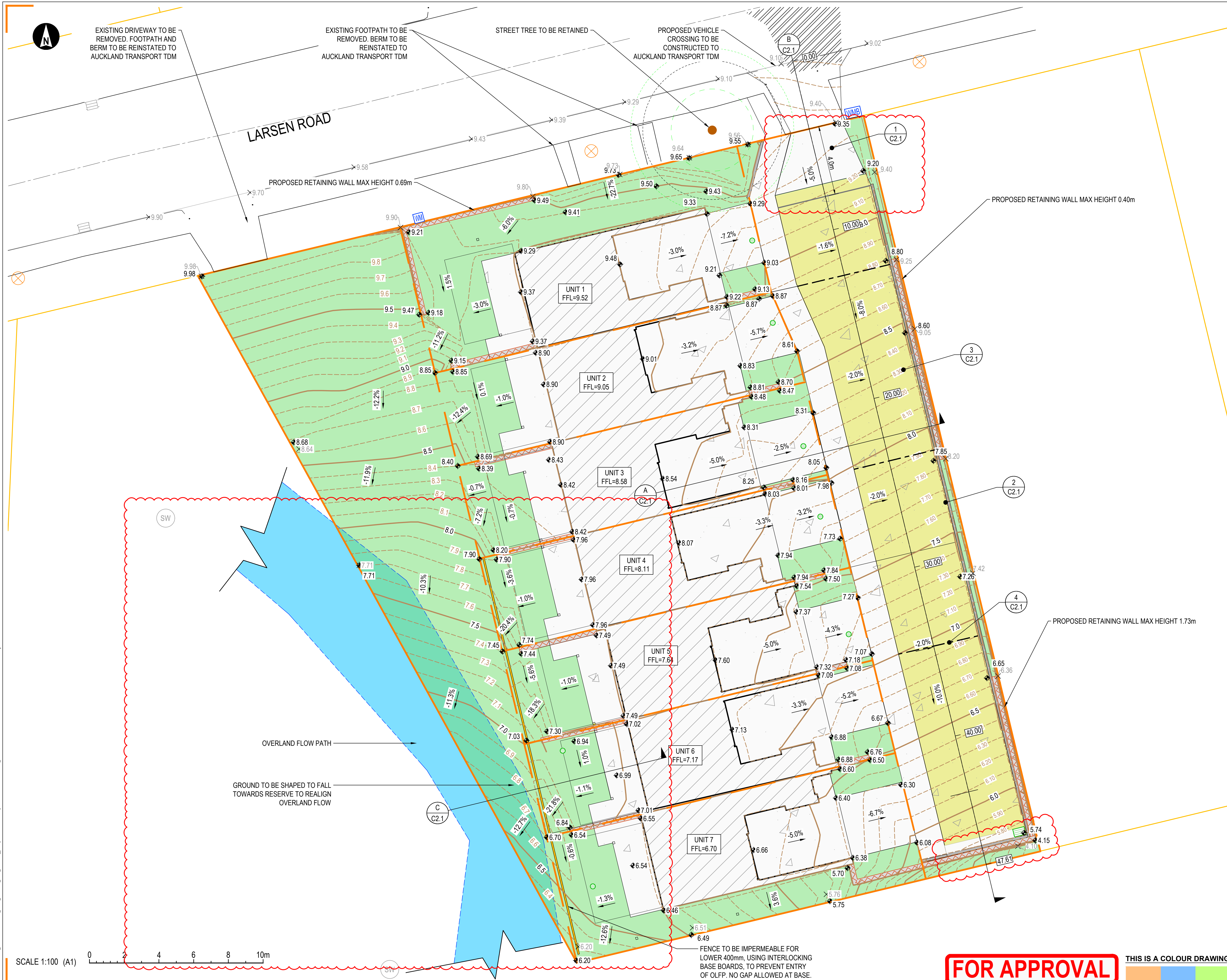


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7	07-08-2025	REVISED AS CLOUDED	EK
6	30-06-2025	REVISED AS CLOUDED	EK
5	23-06-2025	REVISED AS CLOUDED	LH
4	29-04-2025	REVISED AS CLOUDED	LH
3	11-04-2025	REVISED AS CLOUDED	LH
REV	DATE	ISSUED FOR	BY

PROJECT  
PN91

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

CLIENT  
DOMINION CONSTRUCTORS LTD

TITLE  
SITE PLAN

REVIEWED BY: ATB 07-08-2025

DESIGNED BY: JCC

DRAWN BY: LH

SCALE: 1:100 (A1) JOB NO. 2430334

DRAWING NO. C2.0 REV. 7

DETAILED DESIGN



C:\p\proj\2024\030334\TRC\_PN91\_LARSEN\_AND\_TORNO\DC2\JPD-CIVIL\DRFT1\MOD240334-C2.0-SITE\_PLAN.DWG Plot Date: 8/8/2025 5:54:06 AM Name: Eric Kyaw Xrefs:



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4	07-08-2025	REVISED AS CLOUDED	EK
3	30-06-2025	REVISED AS CLOUDED	EK
2	29-04-2025	REVISED AS CLOUDED	LH
1	08-04-2025	PRELIMINARY DESIGN	LH
REV	DATE	ISSUED FOR	BY

**PROJECT**  
**PN91**

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

**CLIENT**  
**DOMINION CONSTRUCTORS LTD**

**TITLE**  
**PAVEMENT DETAILS**

REVIEWED BY: ATB 07-08-2025

DESIGNED BY: JCC

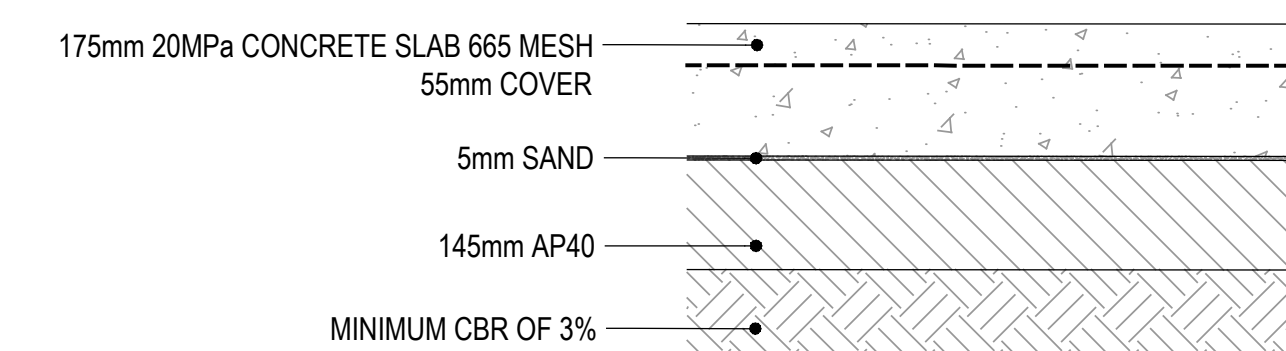
DRAWN BY: LH

SCALE: AS SHOWN JOB NO: 2430334

DRAWING NO. REV.

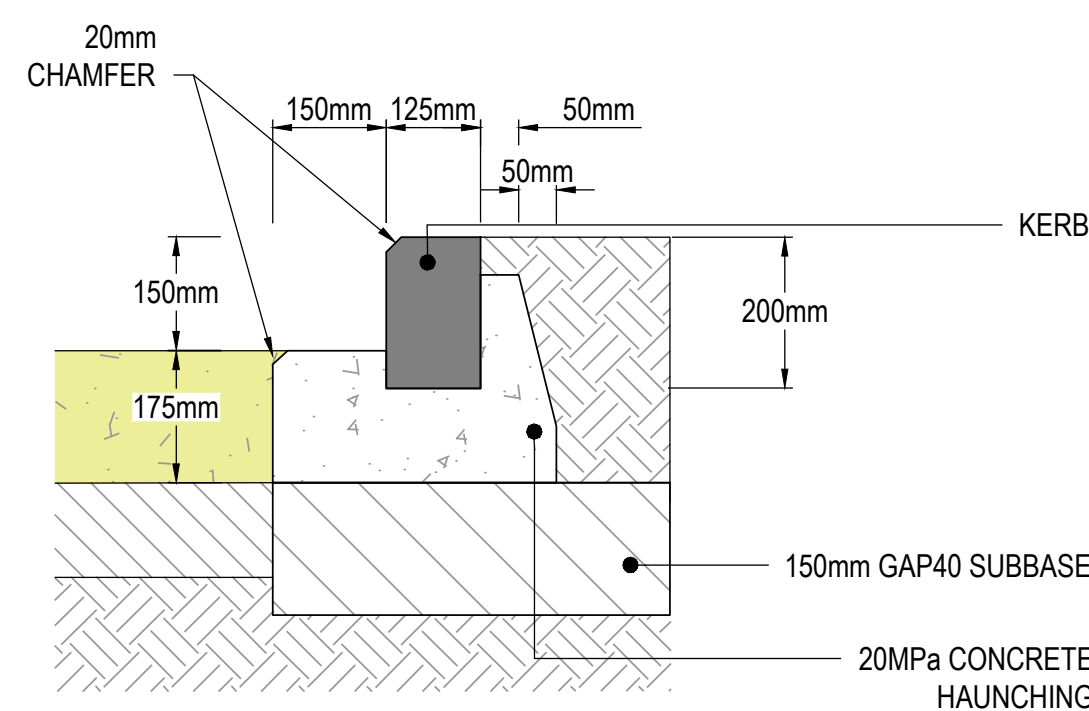
C2.1 4

**DETAILED DESIGN**

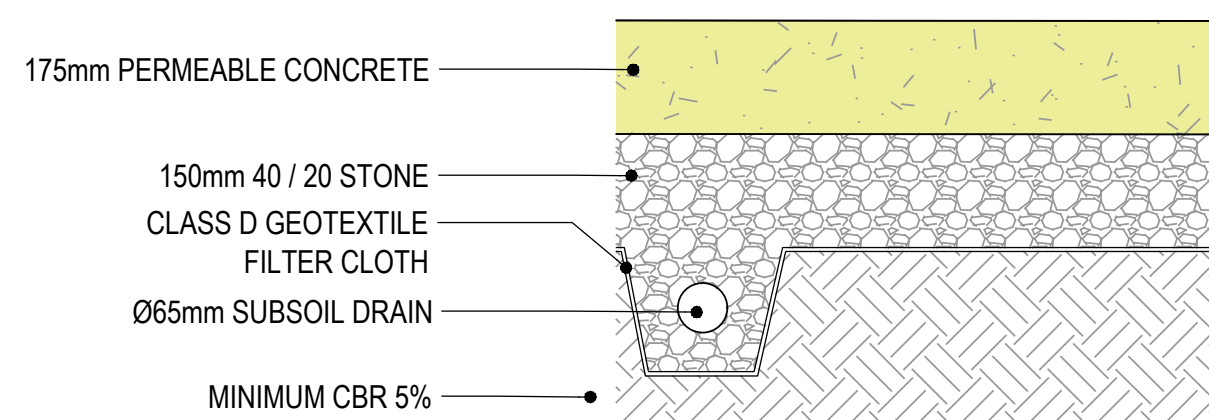


**1 TYPICAL PAVEMENT MAKE-UP DETAIL**  
SCALE 1:10 (A1)

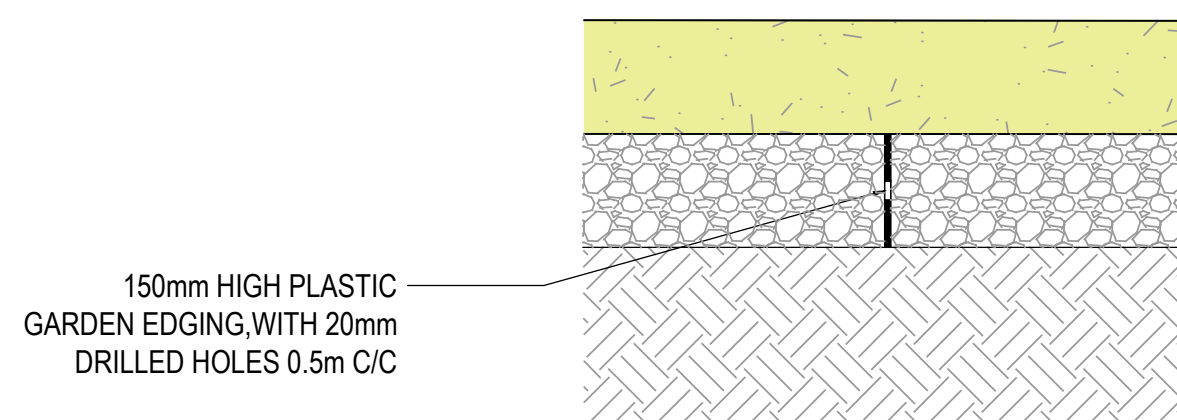
\*45mm DEEP SAW CUTS AT 5m C/C,  
\*CONSTRUCTION JOINTS AT 20m C/C



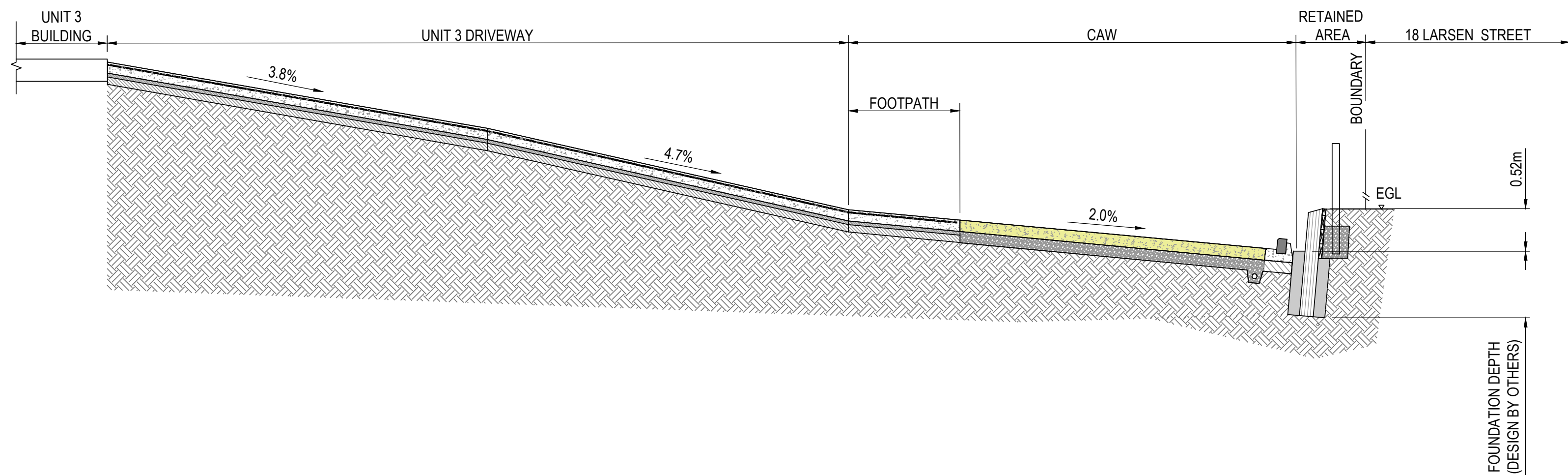
**2 PRE-CAST KERB ABUTTING LANDSCAPE DETAIL**  
SCALE 1:10 (A1)



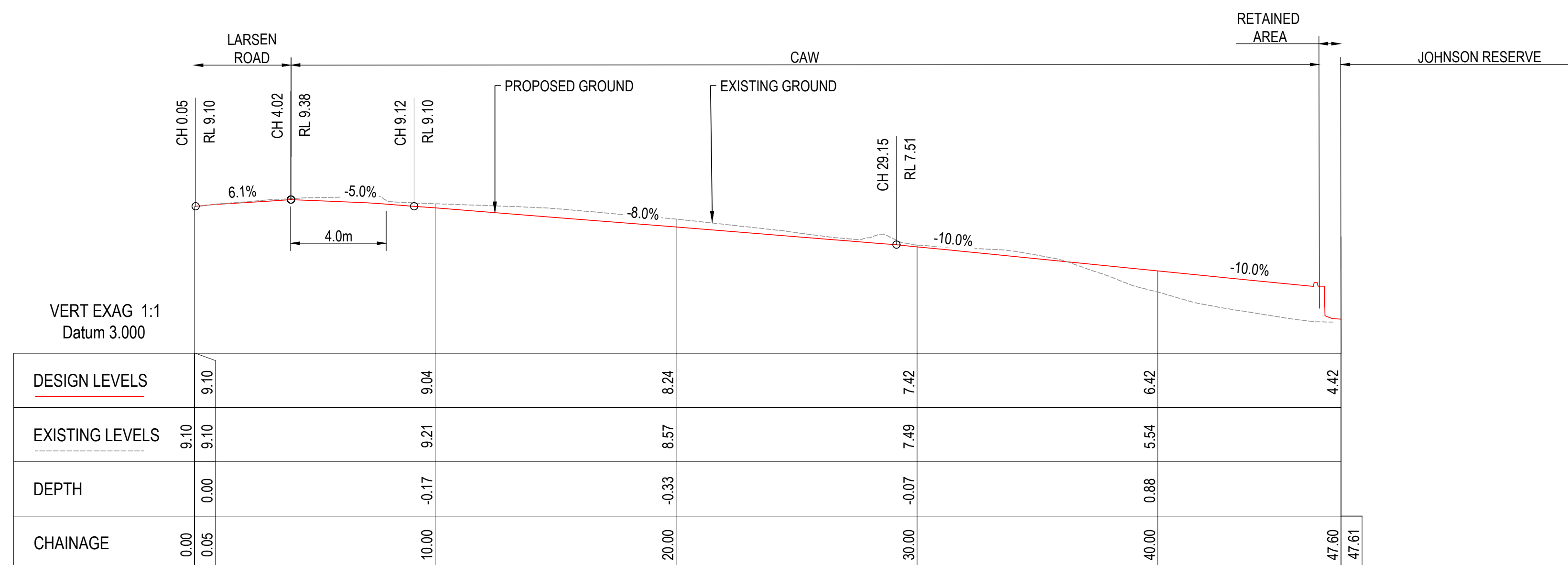
**3 TYPICAL PERMEABLE CONCRETE MAKE-UP DETAIL**  
SCALE 1:10 (A1)



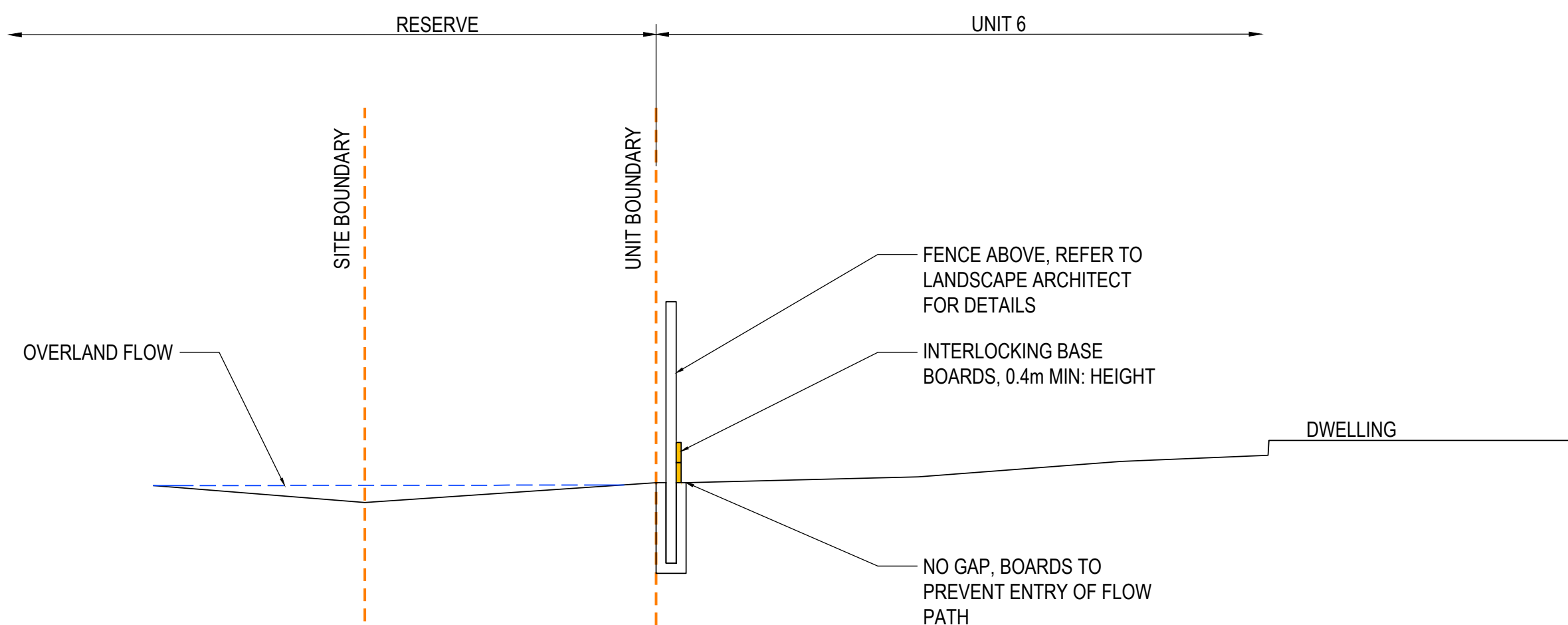
**4 TYPICAL IMPERMEABLE BAFFLE MAKE-UP DETAIL**  
SCALE 1:10 (A1)



**A PAVEMENT CROSS SECTION**  
SCALE 1:50 (A1)



**B PAVEMENT LONG SECTION**  
SCALE 1:150 (A1)

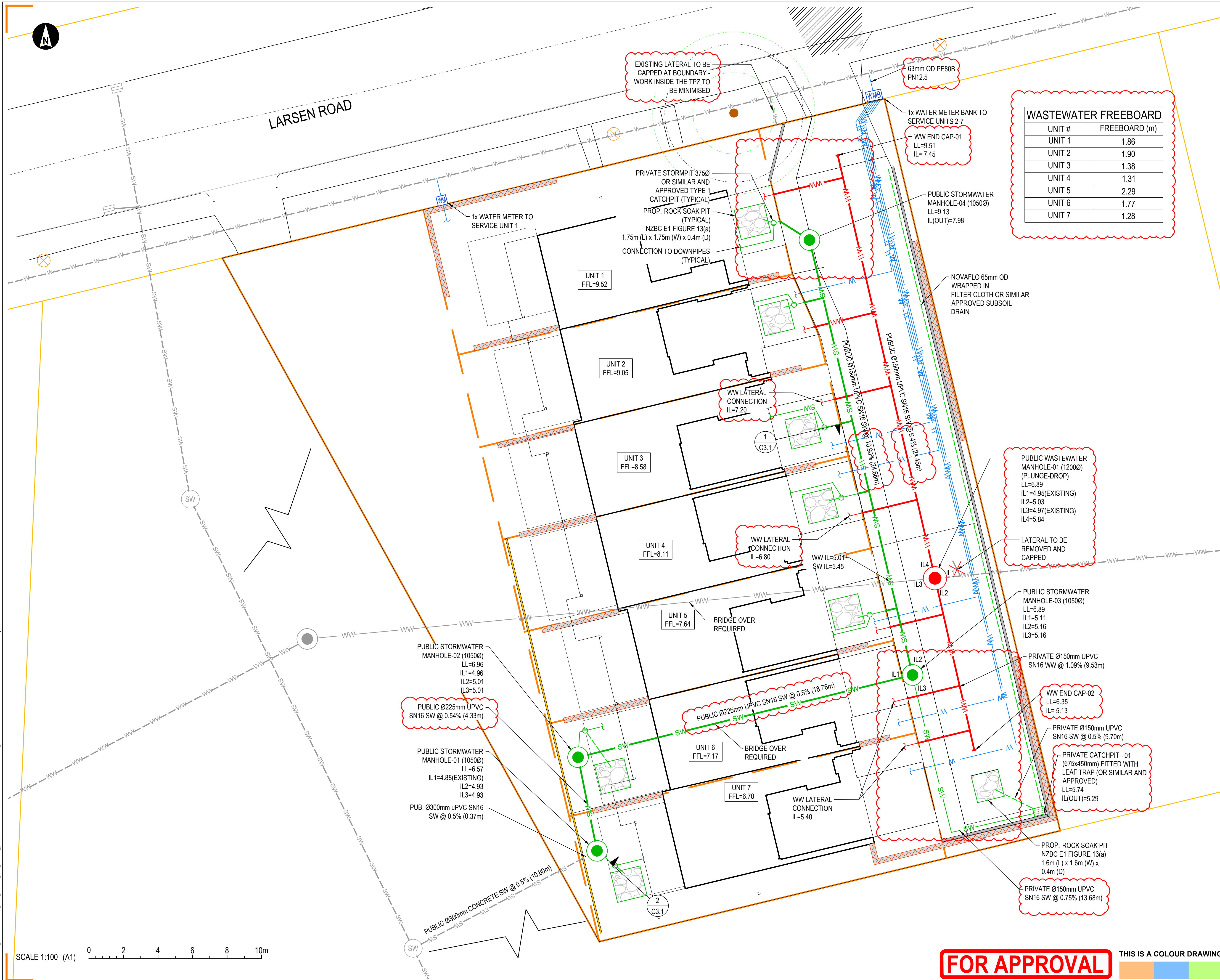


**C OVERLAND FLOW PATH SECTION**  
SCALE 1:150 (A1)

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- NOTES:**
- PUBLIC STORMWATER CONNECTIONS TO BE 100mm UPVC SN16 @ 1.0% MIN, UNLESS NOTED OTHERWISE.
  - PUBLIC WASTEWATER CONNECTIONS TO BE 100mm UPVC SN16 @ 1.67% MIN, UNLESS NOTED OTHERWISE.
  - ALL WATER PIPES TO BE 32mm OD PE80 PN12.5.
  - HD POLY PACKERS TO BE USED WHERE VERTICAL PIPE CLEARANCE IS LESS THAN 0.20m
  - ALL PUBLIC MANHOLE LIDS TO BE LOCKABLE AND WATER TIGHT.
  - ALL LEVELS PROVIDED ARE IN THE NZVD 2016 DATUM, UNLESS NOTED OTHERWISE.

5	24-07-2025	REVISED AS CLOUDED	EK
4	30-06-2025	REVISED AS CLOUDED	EK
3	29-04-2025	REVISED AS CLOUDED	LH
2	11-04-2025	REVISED AS CLOUDED	LH
1	08-04-2025	PRELIMINARY DESIGN	LH
REV	DATE	ISSUED FOR	BY

**PROJECT**  
**PN91**

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

**CLIENT**  
**DOMINION CONSTRUCTORS LTD**

**TITLE**  
**SERVICES PLAN**

REVIEWED BY: ATB 24-07-2025

DESIGNED BY: JCC

DRAWN BY: LH

SCALE: 1:100 (A1) JOB NO: 2430334

DRAWING NO: C3.0 REV: 5

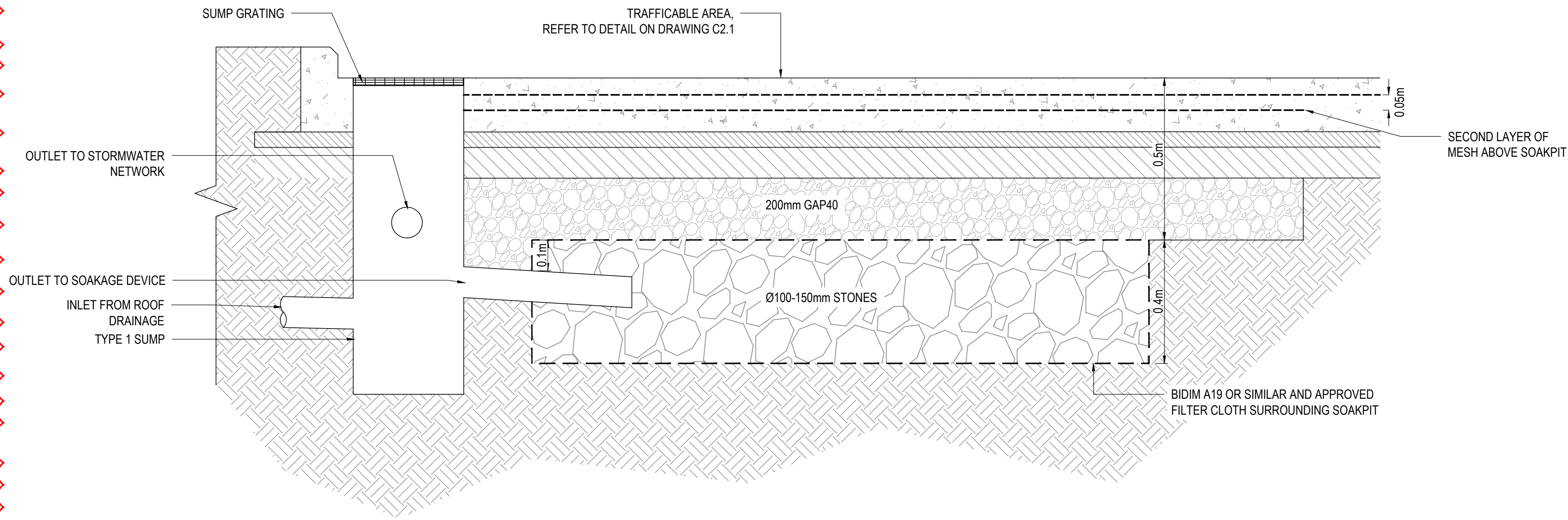
**DETAILED DESIGN**

**FOR APPROVAL**

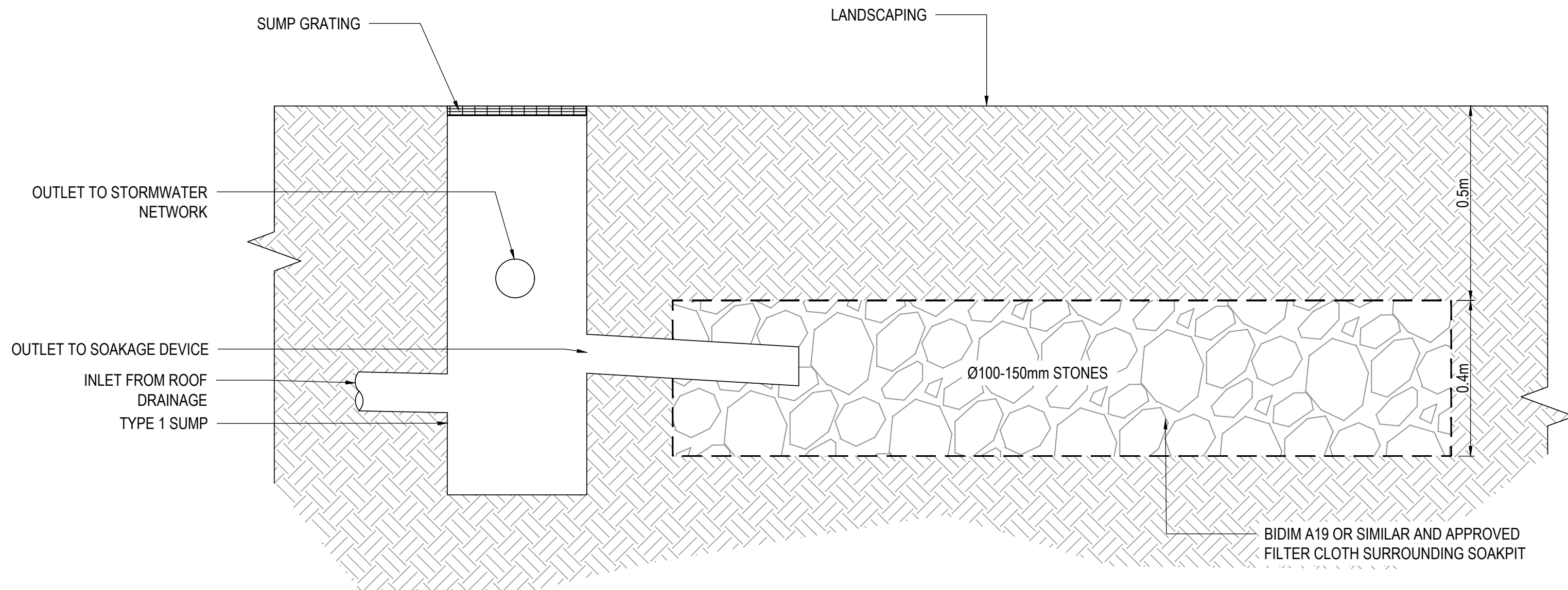
THIS IS A COLOUR DRAWING







1 ROCK SOAKPIT CROSS SECTION (TYPICAL)  
C3.1 SCALE 1:10 (A1)



2 ROCK SOAKPIT CROSS SECTION (LANDSCAPE)  
C3.1 SCALE 1:10 (A1)

SCALE 1:100 (A1) 0 2 4 6 8 10m

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3	30-06-2025	REVISED AS CLOUDED	EK
2	11-04-2025	REVISED AS CLOUDED	LH
1	08-04-2025	PRELIMINARY DESIGN	LH
REV	DATE	ISSUED FOR	BY

PROJECT  
PN91

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

CLIENT  
DOMINION CONSTRUCTORS LTD

TITLE  
DRAINAGE DETAILS AND SECTIONS

REVIEWED BY: MJG 08-04-2025

DESIGNED BY: JCC 08-04-2025

DRAWN BY: LH 08-04-2025

SCALE: AS SHOWN JOB NO. 2430334

DRAWING NO. REV.

C3.1 3

DETAILED DESIGN





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THIS DRAWING IS FOR DETAILED DESIGN PURPOSES ONLY.

- NOTES:
1. HD POLY PACKERS TO BE USED WHERE VERTICAL PIPE CLEARANCE IS LESS THAN 0.20m

2	24-07-2025	REVISED AS CLOUDED	EK
1	30-06-2025	DETAILED DESIGN	EK
REV	DATE	ISSUED FOR	BY

PROJECT  
PN91

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

CLIENT  
DOMINION CONSTRUCTORS LTD

TITLE  
STORMWATER PIPE LONGSECTIONS

REVIEWED BY ATB 24-07-2025

DESIGNED BY JCC

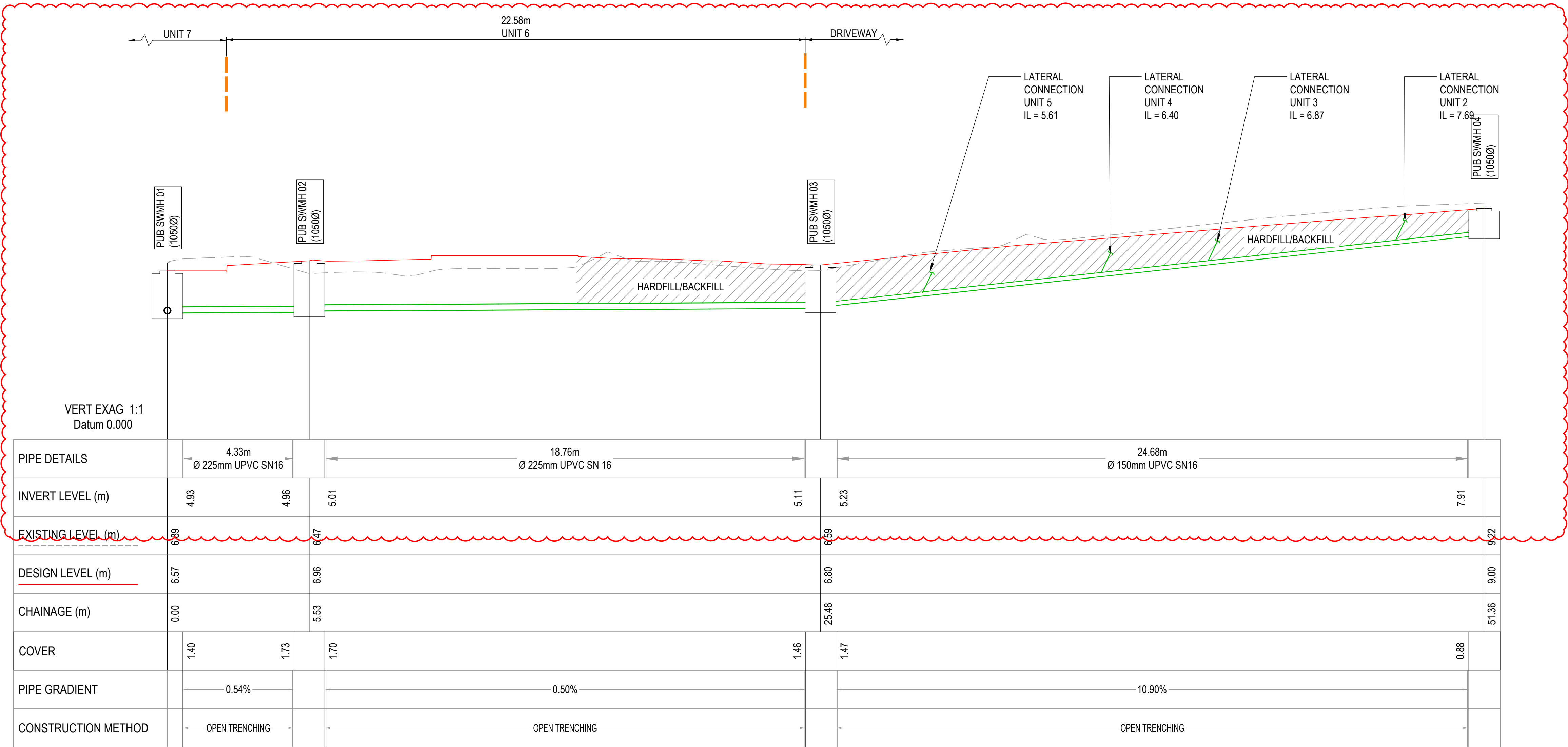
DRAWN BY EK

SCALE AS SHOWN JOB NO. 2430334

DRAWING NO. REV.

C3.2 2

DETAILED DESIGN



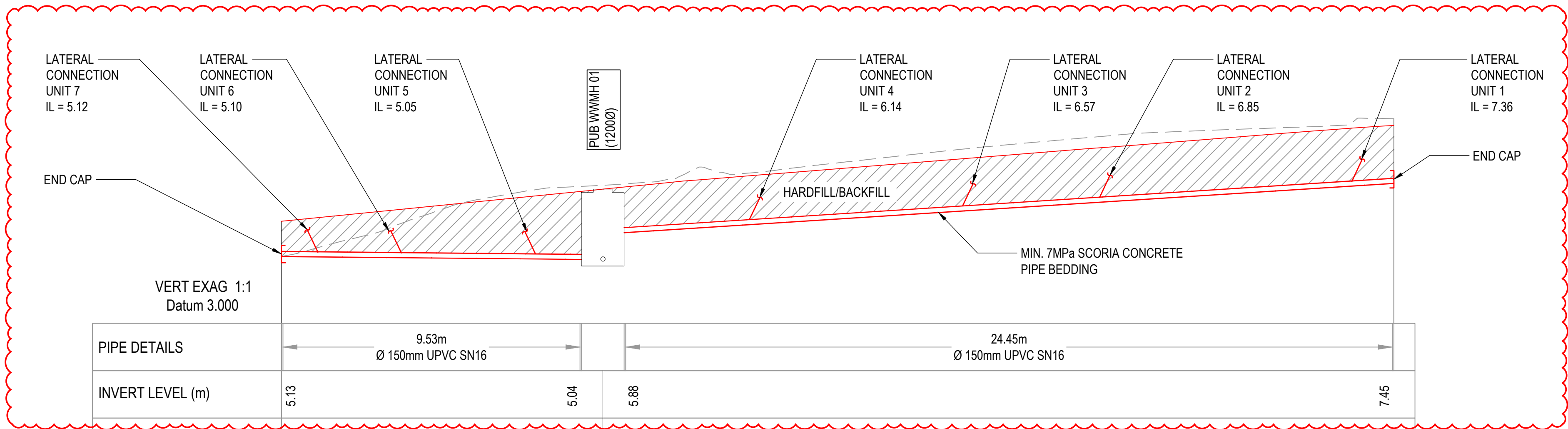
PUBLIC PIPE LONGSECTION  
SCALE 1:100 (A1)

SCALE 1:100 (A1) 0 2 4 6 8 10m

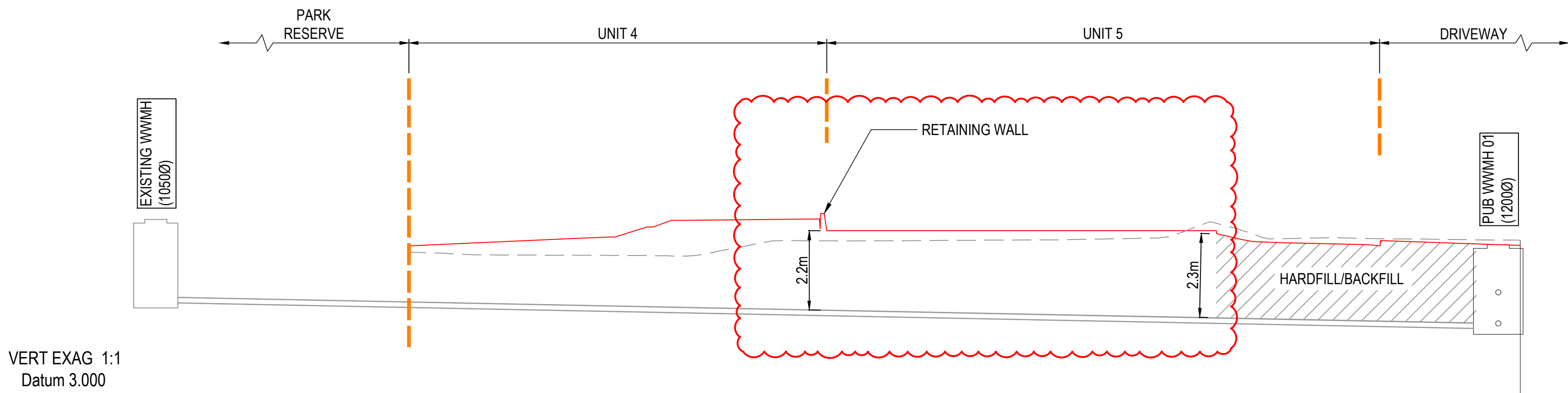
FOR APPROVAL

THIS IS A COLOUR DRAWING





PUBLIC PIPE LONGSECTION  
SCALE 1:100 (A1)



EXISTING PUBLIC PIPE LONGSECTION  
SCALE 1:100 (A1)

SCALE 1:100 (A1) 0 2 4 6 8 10m

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THIS DRAWING IS FOR DETAILED DESIGN PURPOSES ONLY.

- NOTES:
- PIPE BEDDING SHALL BE MIN. 7MPa SCORIA CONCRETE WHERE PIPE GRADE IS GREATER THAN 10% (REFER TO WATERCARE STD DWG WW 16)
  - HD POLY PACKERS TO BE USED WHERE VERTICAL PIPE CLEARANCE IS LESS THAN 0.20m

2	24-07-2025	REVISED AS CLOUDED	EK
1	30-06-2025	DETAILED DESIGN	EK
REV	DATE	ISSUED FOR	BY

PROJECT  
PN91

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

CLIENT  
DOMINION CONSTRUCTORS LTD

TITLE  
WASTEWATER PIPE LONGSECTIONS

REVIEWED BY ATB 24-07-2025

DESIGNED BY JCC

DRAWN BY EK

SCALE AS SHOWN JOB NO. 2430334

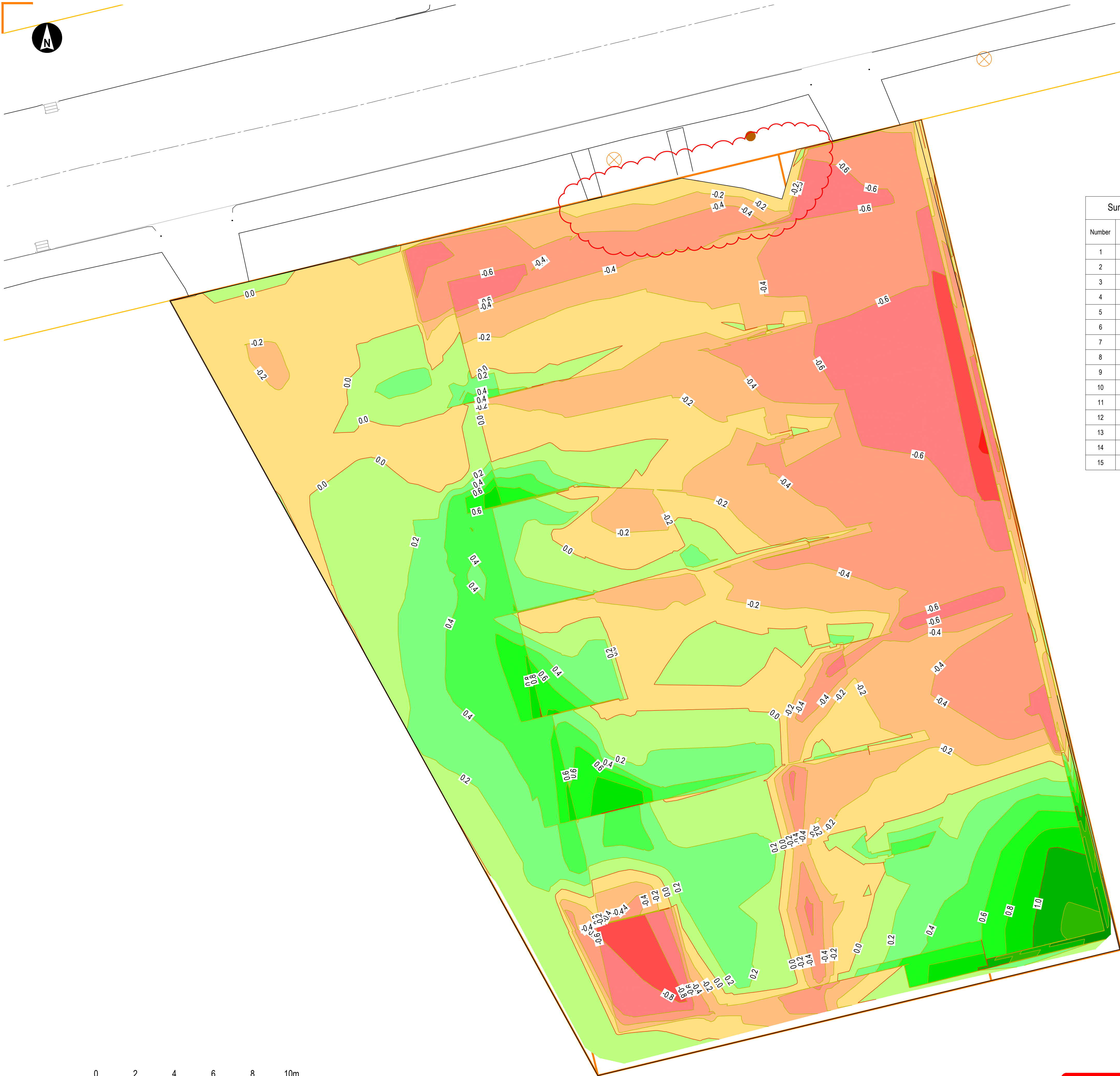
DRAWING NO. REV.

C3.3 2

DETAILED DESIGN







Surface Analysis: Cut & Fill Depth			
Number	Color	Minimum Depth (m)	Maximum Depth (m)
1		-1.200	-1.000
2		-1.000	-0.800
3		-0.800	-0.600
4		-0.600	-0.400
5		-0.400	-0.200
6		-0.200	0.000
7		0.000	0.200
8		0.200	0.400
9		0.400	0.600
10		0.600	0.800
11		0.800	1.000
12		1.000	1.200
13		1.200	1.400
14		1.400	1.600
15		1.600	1.800

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EARTHWORKS VOLUME (INCLUDING BUILDING FOOTPRINT)

289m³ CUT  
165 m³ FILL  
1475 m² AREA OF EARTHWORKS

BETWEEN EXISTING SURFACE LEVELS AND SUB-GRADE, ASSUMING THE FOLLOWING MAKE-UP:

BUILDING SLAB 0.35m  
PATIO 0.20m  
DRIVEWAY AND PARKING 0.325m

2	11-04-2025	REVISED AS CLOUDED	LH
1	08-04-2025	PRELIMINARY DESIGN	LH
REV	DATE	ISSUED FOR	BY

PROJECT  
PN91

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

CLIENT  
DOMINION CONSTRUCTORS LTD

TITLE  
EARTHWORKS PLAN

REVIEWED BY: MJG 08-04-2025

DESIGNED BY: JCC 08-04-2025

DRAWN BY: LH 08-04-2025

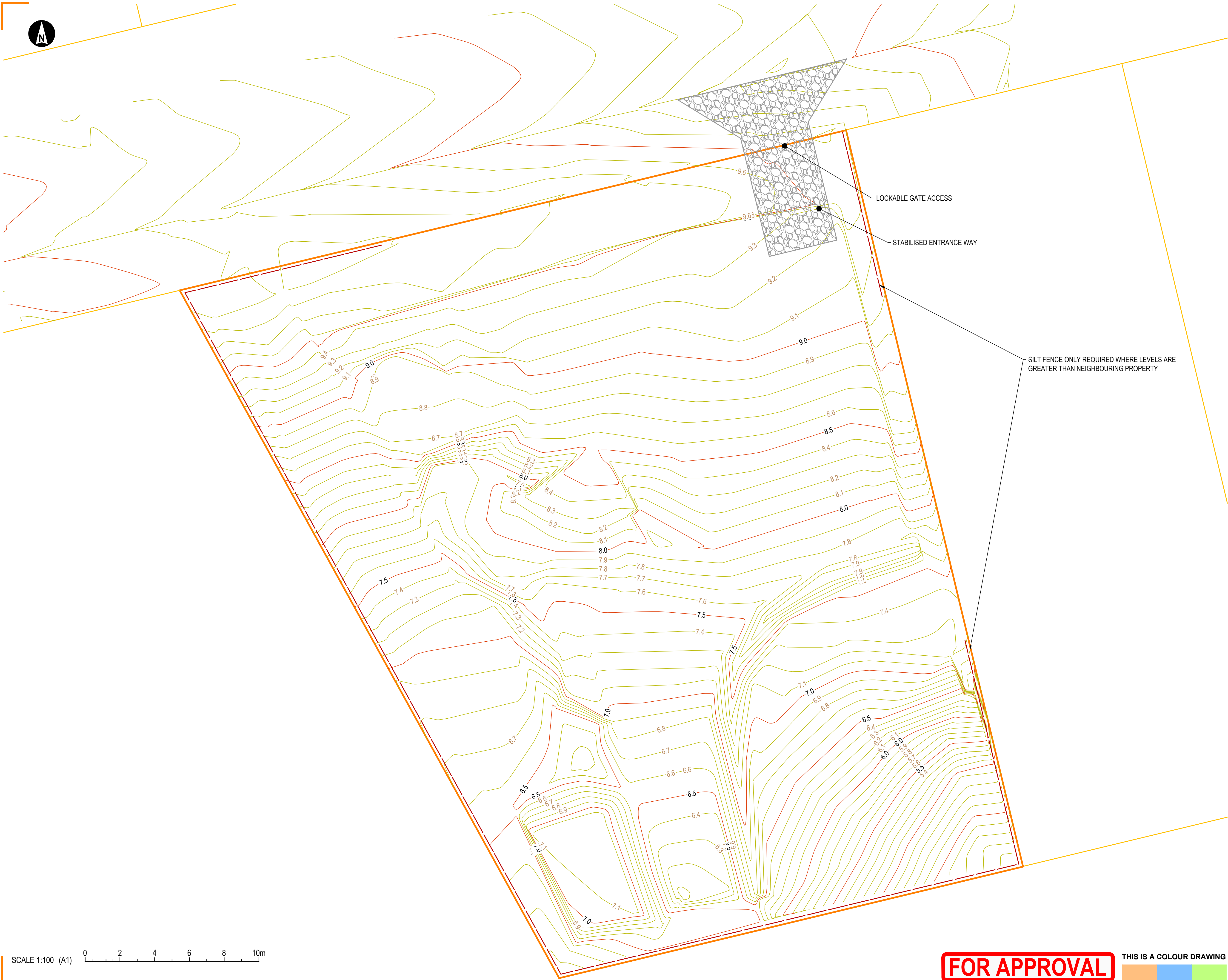
SCALE: 1:100 (A1) JOB NO. 2430334

DRAWING NO. REV.  
C4.0 2

DETAILED DESIGN







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1	08-04-2025	PRELIMINARY DESIGN	LH
REV	DATE	ISSUED FOR	BY

**PROJECT**  
**PN91**

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

**CLIENT**  
**DOMINION CONSTRUCTORS LTD**

**TITLE**  
**EROSION AND SEDIMENT  
CONTROL PLAN**

REVIEWED BY: MJG 08-04-2025

DESIGNED BY: JCC 08-04-2025

DRAWN BY: LH 08-04-2025

SCALE: 1:100 (A1) JOB NO. 2430334

DRAWING NO. REV.  
**C5.0** **1**

**DETAILED DESIGN**



**FOR APPROVAL**

**THIS IS A COLOUR DRAWING**

SCALE 1:100 (A1) 0 2 4 6 8 10m



Cad File: X:\PROJ\_2024\240334\TRC\_PN91\LARSEN\_AND\_TORINO\_ID2\JPD-CIVIL\DRFT\1\MOD\240334-C51-ESC\_DETAILS.DWG Pld Date: 6/26/2025 6:54:17 am Name: Eric Xyem Xyem

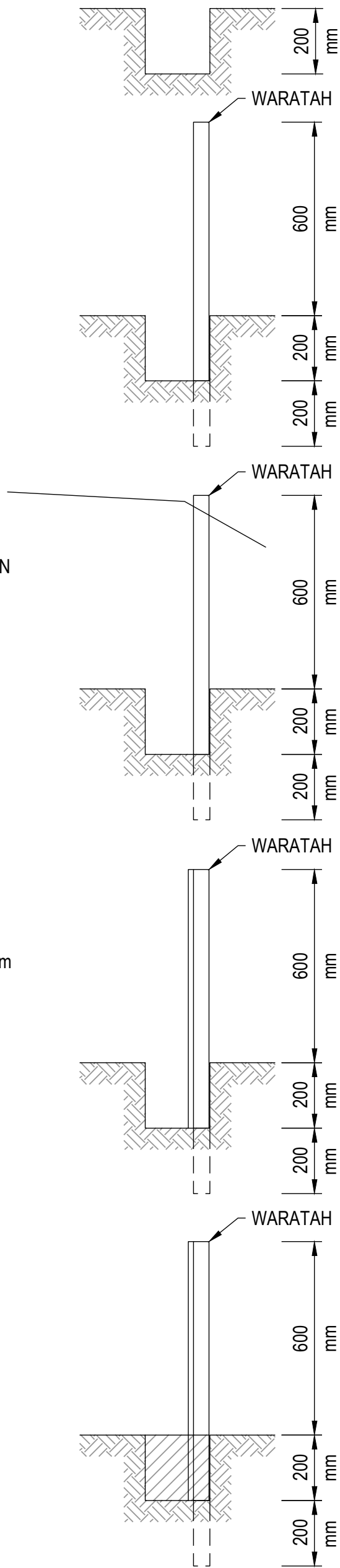
STEP 1  
DIG A 200mm DEEP TRENCH

STEP 2  
HAMMER IN 1m WARATAHS OR WOODEN FENCE POST 200mm INTO THE TRENCH, THEREFORE 400mm BELOW ORIGINAL GROUND LEVEL

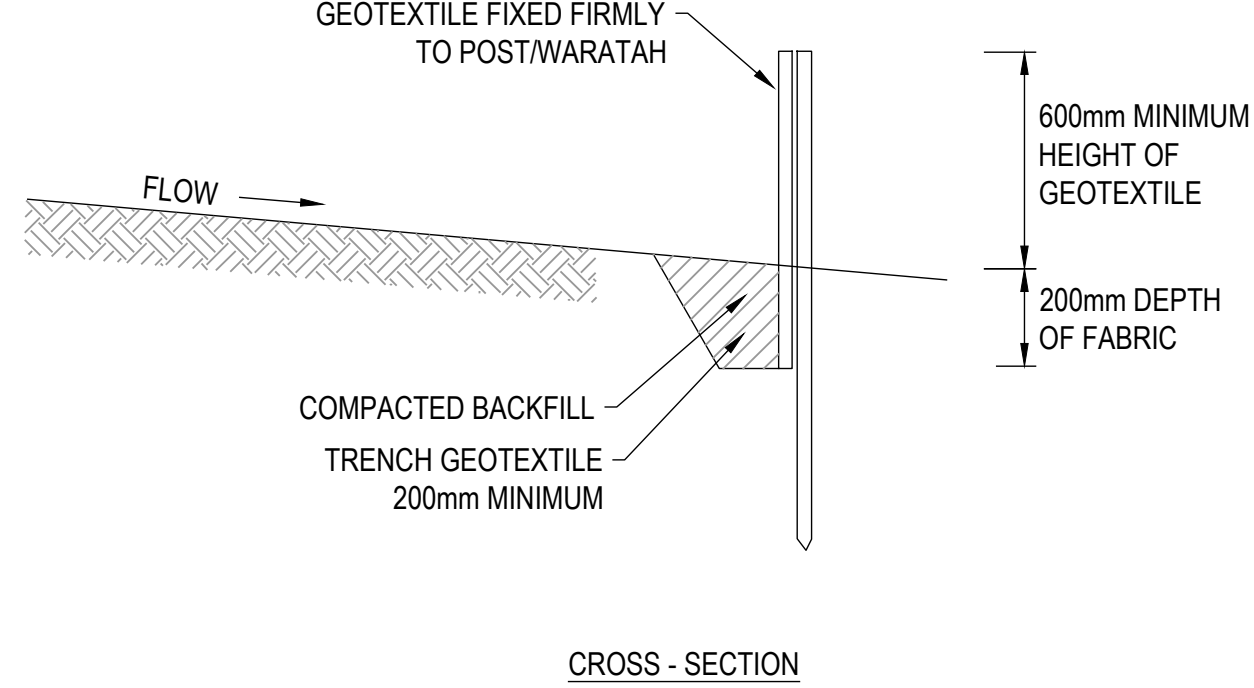
STEP 3  
INSTALL SINGLE GALVANISED WIRE AND TENSION IT AT 50m INTERVALS

STEP 4  
INSTALL SINGLE LAYER OF GEOTEXTILE FABRIC HARD AGAINST THE SIDE OF THE TRENCH (800mm TOTAL HEIGHT)

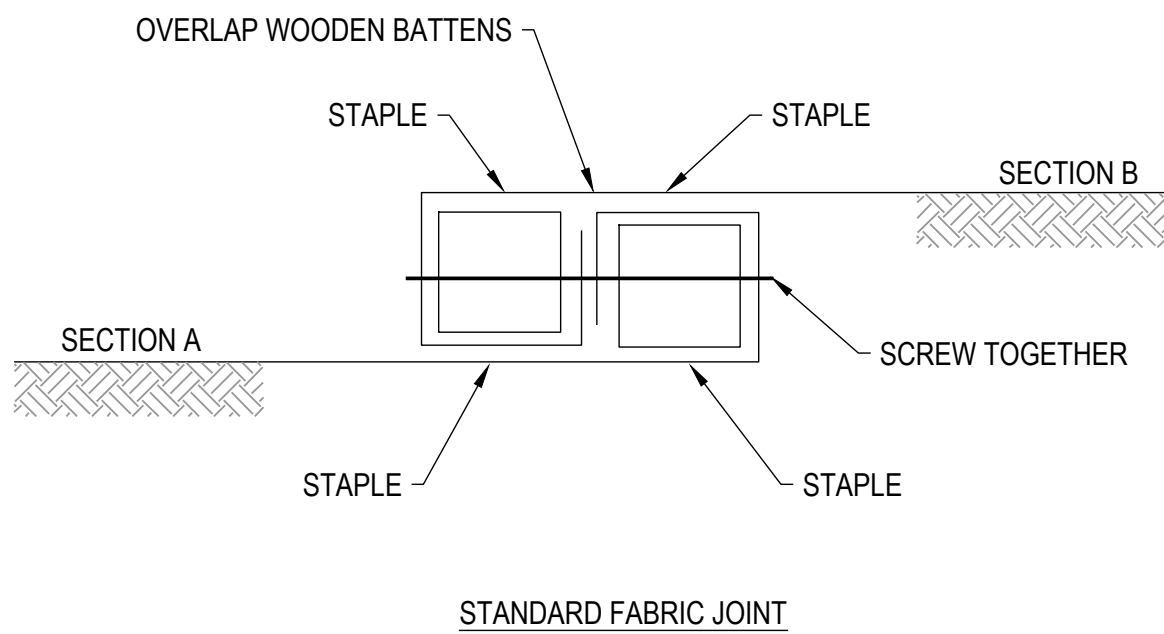
STEP 5  
BACK FILL AND COMPACT WELL (CRITICAL)



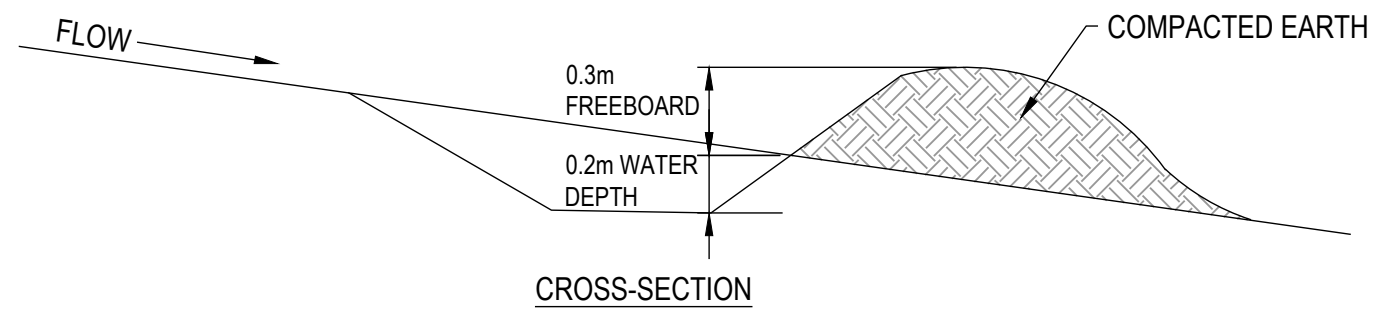
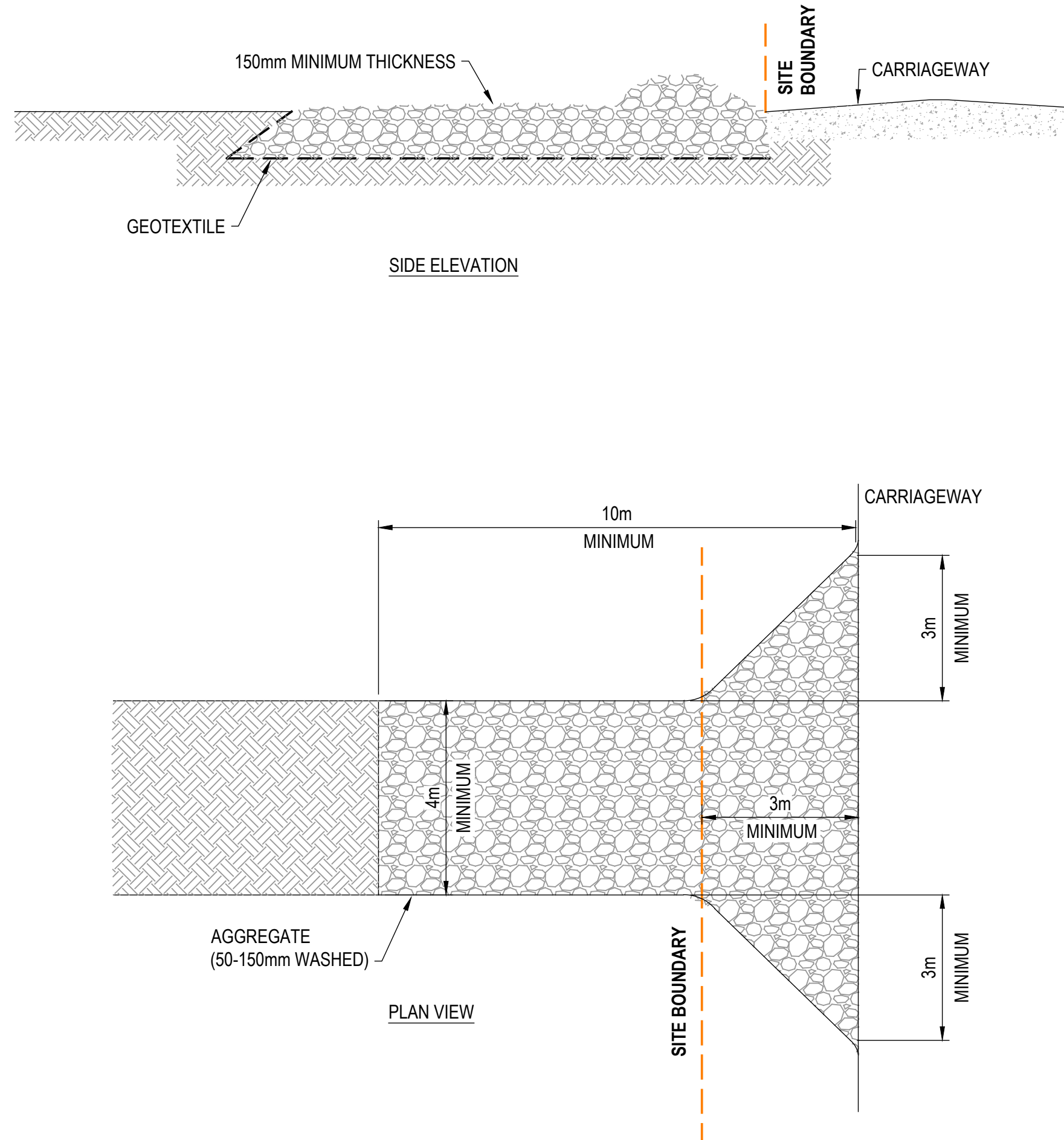
SILT FENCE DETAIL



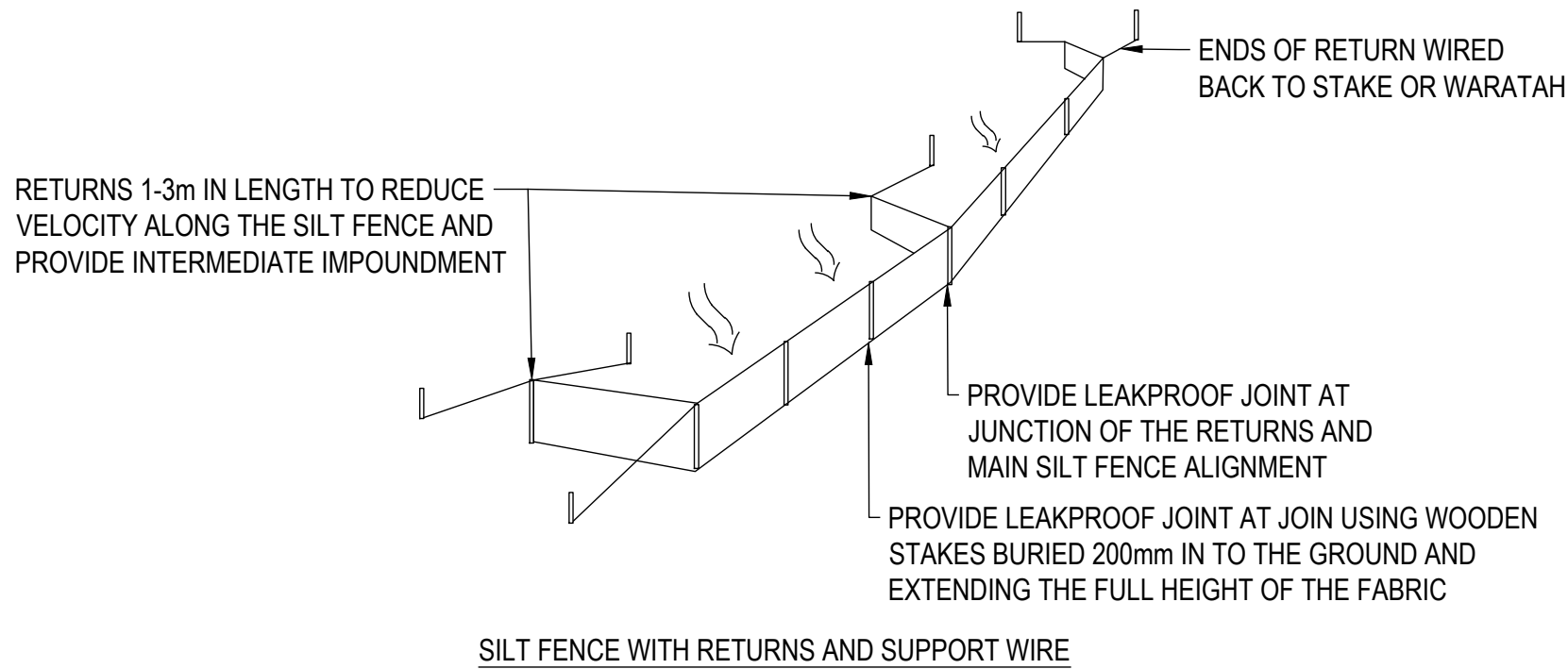
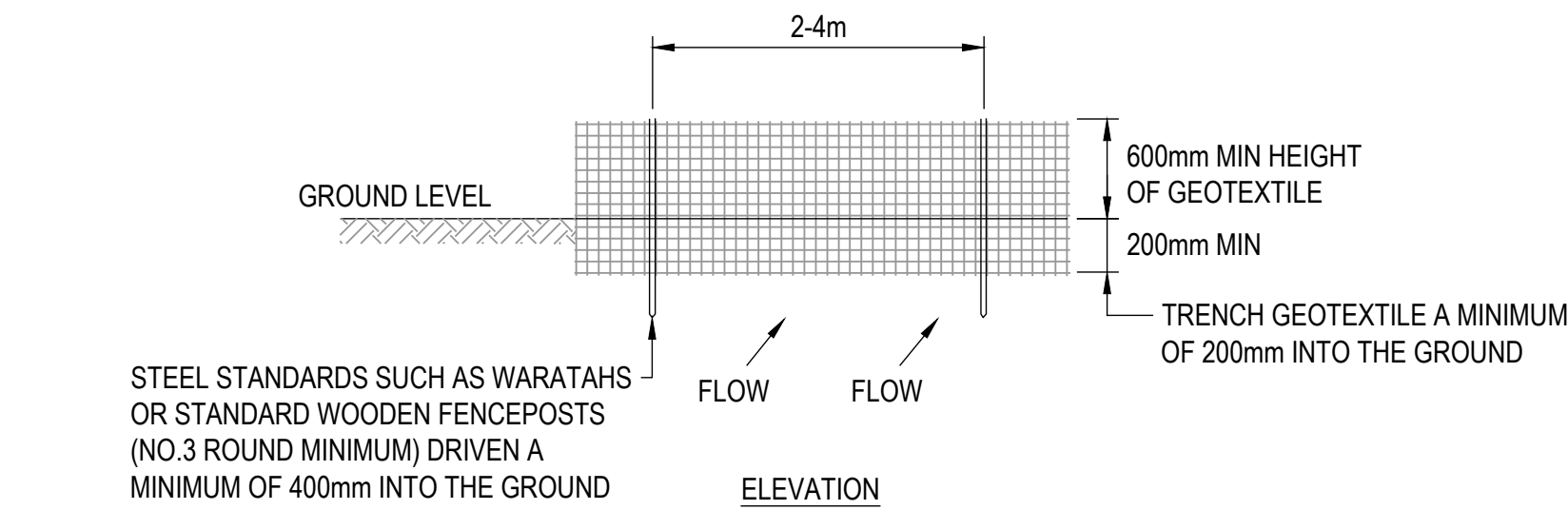
SILT FENCE CROSS-SECTION



STABILISED ENTRANCEWAY



STANDARD LOW FLOW BANK



SILT FENCE LAYOUT

FOR APPROVAL

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1	08-04-2025	PRELIMINARY DESIGN	LH
REV	DATE	ISSUED FOR	BY

PROJECT  
PN91

14-16 LARSEN ROAD, PANMURE  
AUCKLAND

CLIENT  
DOMINION CONSTRUCTORS LTD

TITLE  
EROSION AND SEDIMENT  
CONTROL DETAILS

REVIEWED BY: MJG 08-04-2025

DESIGNED BY: JCC 08-04-2025

DRAWN BY: LH 08-04-2025

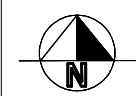
SCALE: N.T.S. JOB NO. 2430334

DRAWING NO. REV.  
C5.1 1

DETAILED DESIGN







LARSEN ROAD  
(legal road, sealed and in use)

LOT 200  
261m<sup>2</sup>  
(to be vested to  
Auckland Council)

LOT 1  
172m<sup>2</sup>

LOT 2  
112m<sup>2</sup>

LOT 3  
114m<sup>2</sup>

LOT 4  
114m<sup>2</sup>

LOT 5  
114m<sup>2</sup>

LOT 6  
114m<sup>2</sup>

LOT 7  
154m<sup>2</sup>

18 LARSEN ROAD  
LOT 700 DP 38231

LOT 100  
303m<sup>2</sup>

PROPOSED BUILDING

20m Setback  
from top of bank

20m Setback  
from top of bank

20.00m  
top of bank to boundary

20.00m  
top of bank to boundary

20.00m  
top of bank to boundary

20.00m  
top of bank to boundary

Stream Width 1.55m

Stream Width 1.81m

Stream Width 1.75m

**NOTES**

- HORIZONTAL DATUM IS NZ GEODETIC DATUM 2000.
- LEVELS ARE IN TERMS OF AUCKLAND VERTICAL DATUM 1946 (MSL)
- EASEMENTS, COVENANTS AND OTHER LEGAL INSTRUMENTS PERTAINING TO THIS SITE ARE NOT REPRESENTED ON THIS PLAN. A FULL INVESTIGATION OF LEGAL RECORDS SHOULD BE UNDERTAKEN BEFORE DESIGN AND CONSTRUCTION COMMENCE.
- NOT ALL PUBLIC & PRIVATE DRAINAGE INFORMATION IS NECESSARILY SHOWN ON THIS PLAN.

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e: [tom@hallsurveying.co.nz](mailto:tom@hallsurveying.co.nz)

TITLE

STREAM LOCATION

PROJECT ADDRESS

14-16 LARSEN ROAD  
PANMURE, AUCKLAND

Scale:		1 : 200 (A2)
Job #		2025-225
Surveyed	TM	Date MAY 2025
Drawn	TH	Date MAY 2025





LARSEN ROAD  
(legal road, sealed and in use)

LOT 200  
261m<sup>2</sup>  
(to be vested to  
Auckland Council)

LOT 1  
172m<sup>2</sup>

LOT 2  
112m<sup>2</sup>

LOT 3  
114m<sup>2</sup>

LOT 4  
114m<sup>2</sup>

LOT 5  
114m<sup>2</sup>

LOT 6  
114m<sup>2</sup>

LOT 7  
154m<sup>2</sup>

LOT 100  
303m<sup>2</sup>

18 LARSEN ROAD  
LOT 700 DP 38231

AMALGAMATION CONDITION:  
THAT LOT 100 HEREON (LEGAL ACCESS) BE  
HELD AS TO SEVEN UNDIVIDED ONE-SEVENTH  
SHARES BY THE OWNERS OF LOTS 1 – 7  
HEREON AS TENANTS IN COMMON IN THE SAID  
SHARES AND THAT INDIVIDUAL RECORDS OF  
TITLE BE ISSUED IN ACCORDANCE THEREWITH.



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TITLE

LOTS 1 - 7, 100 & 200 BEING A  
SUBDIVISION OF LOTS 698 & 699 DP 38231

PROJECT ADDRESS

14-16 LARSEN ROAD  
PANMURE, AUCKLAND

**NOTES**  
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**LEGEND:**  
  
SITE BOUNDARY  
BUILDING  
PROPOSED EASEMENT

**LOCAL AUTHORITY:**  
  
AUCKLAND COUNCIL

**LEGAL DESCRIPTION:**  
  
RT:NA44C/956: LOT 698 DP 38231  
RT:NA44C/957: LOT 699 DP 38231  
  
TOTAL AREA: 1456m<sup>2</sup>  
  
NOTE: ANY VARIATION BETWEEN THE TOTAL  
COMBINED LOT AREAS AND UNDERLYING  
RT AREA IS DUE TO ROUNDING OF AREAS.

MEMORANDUM OF EASEMENTS

PURPOSE	SHOWN	SERVIENT TENEMENT (BURDENED LAND)	DOMINANT TENEMENT (BENEFITED LAND)
PARTY WALL	A	Lot 1	Lot 2
	B	Lot 2	Lot 1
	C	Lot 2	Lot 3
	D	Lot 3	Lot 2
	E	Lot 3	Lot 4
	F	Lot 4	Lot 3
	G	Lot 4	Lot 5
	H	Lot 5	Lot 4
	I	Lot 5	Lot 6
	J	Lot 6	Lot 5
RIGHT OF WAY, RIGHT TO CONVEY POWER, TELECOM & WATER RIGHT TO DRAIN WATER	K	Lot 6	Lot 7
	L	Lot 7	Lot 6
	Z	Lot 100	Lots 1 - 7

NOTE:  
- BLR K39029 TO BE REMOVED

Scale: 1 : 200 (A3)

Job # 2025-225

Revision 1 Date 08/04/2025

Drawn RV Date 08/04/2025